GRANGE ESTATE NECESSARY ROOF REPLACEMENT

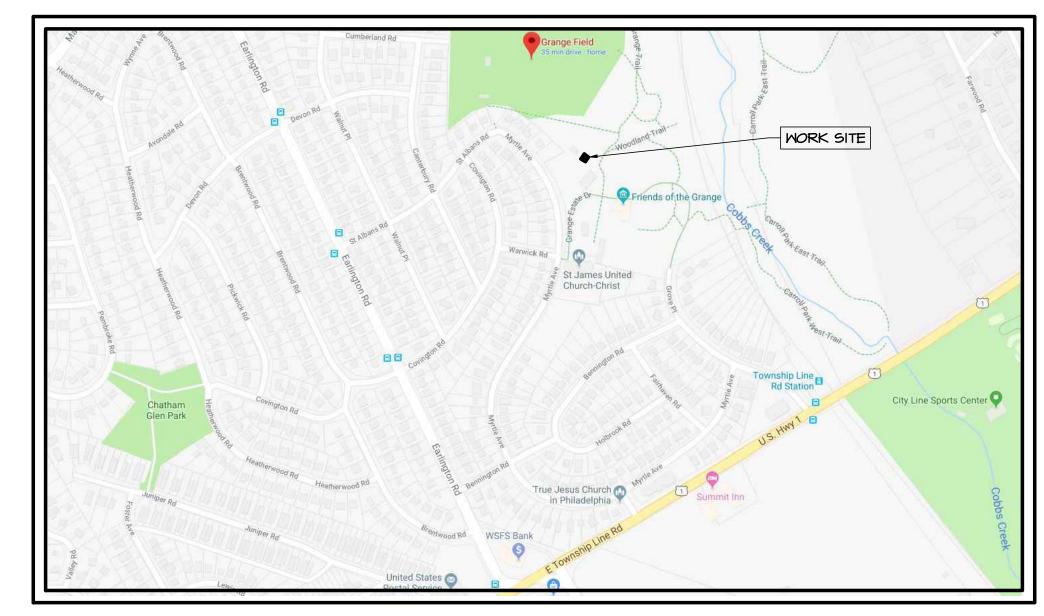
143 MYRTLE AVENUE HAVERTOWN PA. 19083



PREPARED FOR: OWNER

TOWNSHIP OF HAVERFORD

1014 DARBY ROAD HAVERTOWN PA. 19083 (610) - 446 - 1000



	DRAWING	LIST		
SHEET	SHEET DESCRIPTION	REV#	PLAN DATE	REV DATE
CS	COVER SHEET	REV 2	02/12/2024	01/08/2025
CM0501	EXISTING CONDITIONS/ACCESS PLAN	REV 2	02/12/2024	01/08/2025
S001	STRUCTURAL GENERAL NOTES	REV 2	02/12/2024	01/08/2025
S100	STRUCTURAL PLANS AND ELEVATIONS	REV 2	02/12/2024	01/08/2025
S101	STRUCTURAL SECTIONS AND DETAILS	REV 2	02/12/2024	01/08/2025
S102	PHOTOS & SHUTTER REPAIR NOTES	REV 2	02/12/2024	01/08/2025
S103	CUPOLA PLAN	REV 2	02/12/2024	01/08/2025

KEY PLAN
SCALE: NONE

PREPARED BY:
PENNONI ASSOCIATES INC.



1900 Market Street, Suite 300 Philadelphia, PA 19103 **T** 215.222.3000 **F** 215.222.3588 Pennoni

	3
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK	

COVER SHEET
OWNSHIP OF HAVERFORD

3 ISSUED FOR BID
2 REVISED PER DELCO PD COMMENTS GDK
1 REVISED PER DELCO PD COMMENTS GDK
NO. REVISIONS BY

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RAWING SCALE AS NOTED

RAWN BY JMF

CS

ET 1 OF 7

GENERAL NOTES:

- THE GRANGE ESTATE DATES BACK TO 1797 AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. THE CONTRACTOR MUST BE FULLY AWARE OF THIS AND USE EXTREME CARE TO COMPLETE THE WORK WHILE PRESERVING ALL EXISTING FEATURES.
- THE LIMIT OF DISTURBANCE IS DEPICTED ON THE PLAN. NO ADDITIONAL DISTURBANCE IS PERMITTED UNLESS SPECIFICALLY PERMITTED IN WRITING BY THE TOWNSHIP. THE CONTRACTOR MUST REQUEST IN WRITING TO USE ANY AREA BEYOND THE INDICATED LIMIT OF DISTURBANCE. THIS REQUEST MUST BE ADDRESSED TO THE TOWNSHIP MANAGER. APPROVAL FROM ANY OTHER PERSON IS NOT VALID.
- THE CONTRACTOR SHALL DOCUMENT ALL EXISTING CONDITIONS PRIOR TO MOBILIZATION OF ANY EQUIPMENT VIA VIDEO PER THE SPECIFICATIONS.
- UTILITY LINES INDICATED ON THE PLANS ARE INDICATED TO THE EXTENT POSSIBLE VIA FIELD VERIFICATION AND EXISTING RECORDS. THE CONTRACTOR SHALL BE AWARE THAT UTILITIES IN THE AREA ARE SHALLOW. HEAVY EQUIPMENT, INCLUDING CONCRETE TRUCKS ARE NOT PERMITTED OVER THESE UTILITIES. ANY DAMAGE TO THE EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR/REPLACE TO THE SATISFACTION OF THE TOWNSHIP.
- THE CONTRACTOR MUST RECOGNIZE THE HISTORICAL SIGNIFICANCE OF THE BUILDING AND CONDUCT THEIR WORK IN A MANNER WHICH WILL NOT IN ANY WAY DAMAGE OR OTHERWISE DEGRADE ANY FEATURE OF THE COMPLEX INCLUDING LANDSCAPING. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRS OF ALL DAMAGE TO PROPERTY TO THE SATISFACTION OF THE TOWNSHIP.
- JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ACCESS TO THE GRANGE ESTATE SHALL BE FROM MYRTLE AVENUE ONLY.
- THE CONTRACTOR WILL BE PERMITTED TO WORK ON THE PREMISES FROM 8:00 AM TO 6:00 PM, MONDAY TO FRIDAY, WRITTEN PERMISSION FROM THE TOWNSHIP MUST BE OBTAINED TO WORK ANY OTHER HOURS OR DAYS. NO WORK IS PERMITTED ON THE WEEKEND.
- ALL WORK SHALL CONFORM TO THE "2018 INTERNATIONAL BUILDING CODE" AND ALL OTHER FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- 10. ALL WATER AND ELECTRICITY REQUIRED TO PERFORM THE WORK UNDER THIS CONTRACT SHALL BE SUPPLIED BY THE CONTRACTOR.
- 11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR WORK ON HISTORIC BUILDINGS. THE FOLLOWING LINK TO THE ASSOCIATED PRESERVATION BRIEFS: HTTP://WWW.NPS.GOV/ORGS/1739PRESERVATION_BRIEFS.HTM IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
- 12. WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE PLAN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE TOWNSHIP. CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE PRIOR TO COMMENCING WITH CONSTRUCTION AND NOTIFY THE TOWNSHIP OF ANY CONDITIONS THAT MAY BE WORSENED BY THE PROPOSED IMPROVEMENTS.
- IF EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE PLANS AND DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITIONS WITH PROPOSED MODIFICATIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL MODIFICATION IS APPROVED BY THE TOWNSHIP
- SHOP DRAWINGS FOR ALL MATERIALS TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF THREE (3) WEEKS.
- 16. THE CONTRACTOR SHALL FULLY PROTECT ALL EXISTING BUILDING COMPONENTS FOR THE DURATION OF THE WORK. UNTIL THE ROOF IS FULLY SHEATHED, A HEAVY DUTY TARP (16 MIL MINIMUM) MUST BE INSTALLED OVER THE ENTIRE BUILDING EVERY NIGHT TO PROTECT THE INTERIOR FROM FURTHER DAMAGE AND WEATHER.
- 17. THE CONTRACTOR SHALL FULLY PROTECT ALL EXISTING STONE WALLS SURROUNDING THE STRUCTURE. ANY DAMAGE TO THE EXISTING WALLS SHALL BE REPAIRED TO THE SATISFACTION OF THE TOWNSHIP.
- 18. DURING DEMOLITION, THE CONTRACTOR SHALL EVALUATE AND SALVAGE ALL EXISTING WOOD COMPONENTS INCLUDING JOISTS, LINTELS, RAFTERS, DECORATIVE MOLDINGS AND OTHER COMPONENTS THAT ARE FREE FROM ROT, DETERIORATION, INFESTATION, MOLD OR OTHER DECAY THAT WOULD PROHIBIT REUSE OF THE MATERIAL. THESE COMPONENTS SHALL BE NEATLY STOCKPILED AT A DESIGNATED LOCATION FOR EXAMINATION BY TOWNSHIP/GRANGE PERSONNEL. ALL WOOD COMPONENTS NOT SELECTED TO BE RETAINED BY THE TOWNSHIP/GRANGE PERSONNEL SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND LEGALLY DISPOSING OF ALL LOOSE/FALLEN MATERIAL FROM THE ENTIRE INTERIOR OF THE BUILDING AND ALL AREAS SURROUNDING THE BUILDING.
- 20. THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING PAINT ON VARIOUS COMPONENTS OF THE BUILDING LIKELY IS COMPOSED OF LEAD BASED PAINT. THE CONTRACTOR SHALL BE REQUIRED TO TEST THIS MATERIAL IN ADVANCE OF ANY WORK. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW. NO WORK SHALL COMMENCE UNTIL THE TEST RESULTS ARE PROVIDED TO THE TOWNSHIP AND THE TOWNSHIP HAS REVIEWED THEM.
- 21. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LEGALLY DISPOSING OF ALL MATERIAL IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. THIS INCLUDES ANY MATERIAL THAT HAS LEAD PAINT. ALL DOCUMENTATION FOR DISPOSAL OF ANY COMPONENTS WITH LEAD PAINT SHALL BE PROVIDED TO THE TOWNSHIP.
- 22. SHOP DRAWINGS SHALL BEAR THE CONTRACTORS STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 23. CONTRACTOR SHALL PROTECT ALL WORK FROM DAMAGE OR FUTURE DETERIORATION DUE TO WEATHER CONDITIONS.
- 24. ALL EXISTING WALKWAYS AND PAVING SHALL BE PROTECTED FROM DAMAGE. 3/4-INCH PLYWOOD OR OTHER APPROVED MATERIALS SHALL BE USED TO PROTECT THE SURFACE FROM DAMAGE.
- 25. NO EXCAVATION OF ANY GROUND SURFACE IS PERMITTED WITH THIS PROJECT

CONSTRUCTION ACCESS:

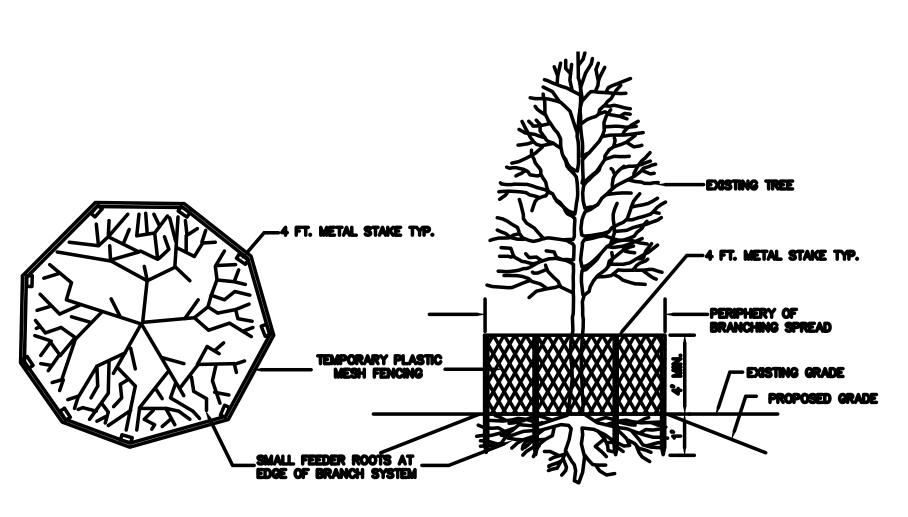
- ALL CONSTRUCTION VEHICLES MUST BE PARKED AT THE END OF THE DRIVEWAY ADJACENT TO THE REQUIRED ACCESS ROUTE. VEHICULAR ACCESS THROUGH THE DRIVE ON THE SOUTH SIDE OF THE WALL AND THROUGH THE PORTICO MUST BE MAINTAINED AT ALL TIMES.
- THE REQUIRED ACCESS ROUTE AS INDICATED ON THE PLAN MUST BE USED FOR ALL EQUIPMENT NECESSARY TO COMPLETE THE WORK.

TREE PROTECTION:

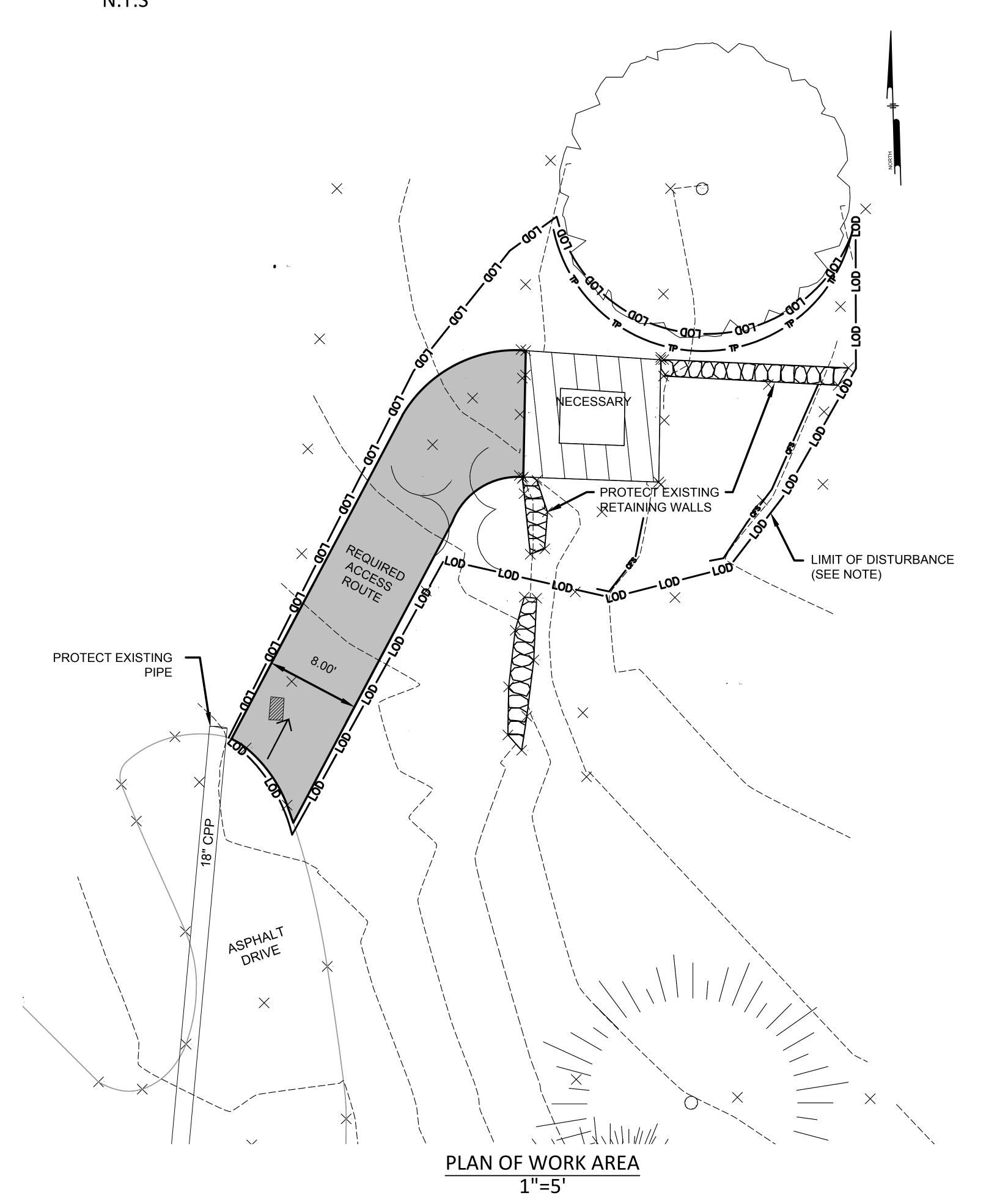
- NO TREES SHALL BE REMOVED OR TRIMMED TO COMPLETE THIS WORK UNLESS AUTHORIZED IN WRITING BY THE TOWNSHIP.
- INSTALL ALL TREE PROTECTION FENCE PRIOR TO COMMENCEMENT OF ANY WORK. TREE PROTECTION FENCING SHALL BE 4-FOOT-HIGH PLASTIC FENCE (SEE DETAIL). COLOR SHALL BE ORANGE. FENCE TO BE SECURED TO METAL POSTS INSTALLED AT 5-FOOT INTERVALS (SEE DETAIL)

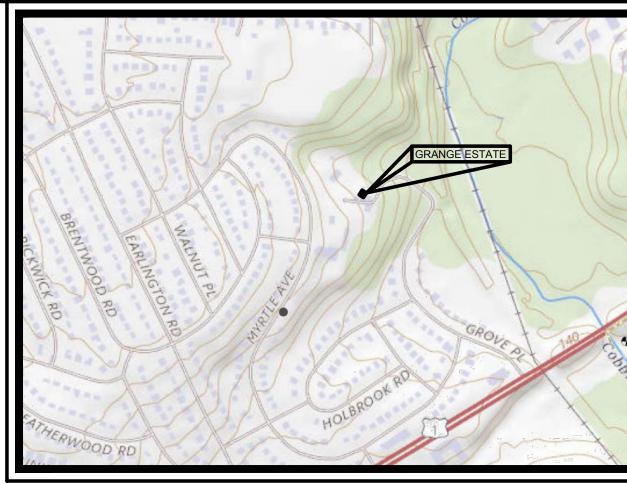
PA ACT 287 OF 1974 AS AMENDED BY ACT 181 OF 2006:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND STRUCTURES AND UTILITIES, SUCH AS WATER MAINS, SEWERS, TELEPHONE, GAS AND ELECTRIC CONDUITS, ETC. AND ABOVE GROUND UTILITIES, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS. TEST HOLES SHALL BE DUG TO DETERMINE THE POSITION OF THE UNDERGROUND STRUCTURES AND UTILITIES, OR THE CONTRACTOR SHALL ARRANGE WITH THE OWNERS OF SUCH UNDERGROUND STRUCTURES AND UTILITIES TO ASSIGN A REPRESENTATIVE TO MARK THE LOCATIONS. THE CONTRACTOR SHALL PAY THE COST OF DIGGING TEST HOLES AND LIKEWISE HE SHALL PAY THE COST OF THE SERVICE OF THE REPRESENTATIVES OF THE OWNERS OF SUCH UTILITIES FOR LOCATING THE SAID UTILITIES. THE COST OF DETERMINING THE LOCATIONS IS TO BE INCLUDED IN THE PRICES BID. THE LOCATIONS AND DEPTH OF EXISTING STRUCTURES AND UTILITIES AS SHOWN IN THE CONTRACT DOCUMENTS IS SIMPLY FOR THE GUIDANCE OF THE CONTRACTOR AND HAVE NOT BEEN FIELD LOCATED. SINCE THE INFORMATION IS AS FURNISHED BY THE RESPECTIVE UTILITIES, OR TAKEN FROM NON-AS-BUILT PLANS, THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS IN THIS RESPECT.

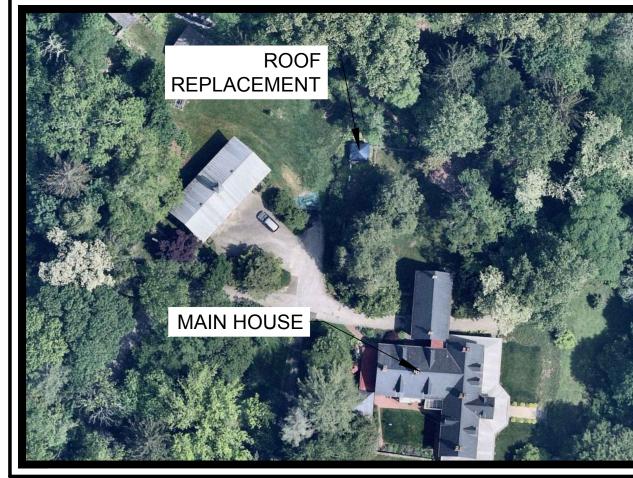


TREE PROTECTION FENCE



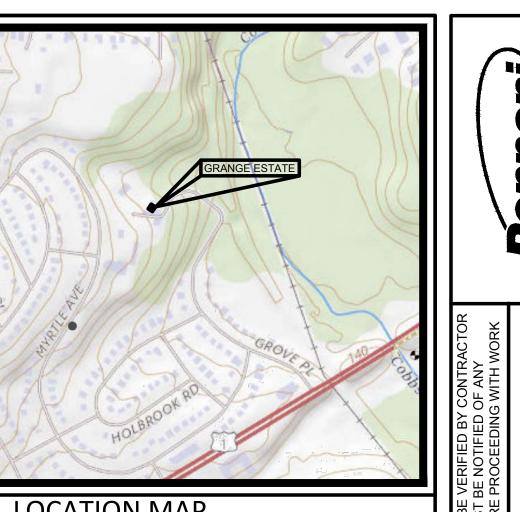


LOCATION MAP SCALE: 1" = 500'



AERIAL PLAN

LEGEND



25 25 F ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTE TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATI OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE; AND OWNER SHA INDEMNIEY AND HOLD HARMLESS PENNONLASSOCIATE FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES

02/12/2024

AS NOTED

PROPOSED SITE ENTRANCE ARISING OUT OF OR RESULTING THEREFROM. PROPOSED TREE PROTECTION FENCE — CFS — PROPOSED COMPOST FILTER SOCK — LOD — LOD — LIMIT OF DISTURBANCE DRAWING SCALE

CM0501

EX EDGE OF

EX SPOT ELEVATION

EX STORM INLET

EX TREE

————— EX FENCE LINE

— — — — 186 — — — — EX MINOR CONTOUR

----- s ----- s ----- EX SANITARY SEWER

18" CPP EX STORM PIPE

GENERAL STRUCTURAL AND CONSTRUCTION NOTES

I.O <u>GENERAL</u>

- ALL WORK SHALL CONFORM TO THE "2018 INTERNATIONAL BUILDING CODE" AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- 2. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
- 3. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- 4. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO CONTRACTOR IMPROPER INSTALLATION OF STRUCTURAL ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN

PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT. THE CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND

(DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES

- DIMENSIONS AT THE SITE. FAILURE TO NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS. 6. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN
- ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS PROVIDED IN THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE TOWNSHIP.
- WHERE ALTERATIONS INVOLVE THE EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE SHORING AND PROTECTION REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING, AND SHORING, ETC.
- SHOP DRAWINGS FOR ALL STRUCTURAL MATERIALS TO BE SUBMITTED TO TOWNSHIP FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
- 12. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.

OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND

SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF PENNONI ARE INVALID. 14. ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE

13. THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON PENNONI CADD SYSTEM. ANY

2.0 MASONRY

- MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.I-13/ASCE 6-13), EXCEPT WHERE OTHERWISE MODIFIED BY THESE GENERAL NOTES AND SPECIFICATIONS.
- THE NECESSARY IS PART OF THE NATIONAL REGISTER LISTING FOR THE GRANGE ESTATE. THE SECRETARY OF THE INTERIOR STANDARDS APPLY TO THIS WORK. FOR CONVENIENCE, HERE IS THE LINK TO THE RELATED PRESERVATION BRIEF: BRIEF #2: https://www.nps.gov/orgs/1739/upload/preservation-brief-02-repointing.pdf BRIEF #22: https://www.nps.gov/orgs/1739/upload/preservation-brief-22-stucco.pdf
- FULL BED AND HEAD JOINTS SHALL BE PROVIDED. PROVIDE AND INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL MALLS DURING CONSTRUCTION AND UNTIL ERECTION OF ATTACHED STRUCTURAL
- 5. ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.I-13/ASCE 6-13) WITH THE FOLLOWING ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES F, THE TEMPERATURE OF THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED ABOVE 32 DEGREES F FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED
- MONITOR THE PROPORTIONING, MIXING, AND CONSISTENCY OF MORTAR; THE PLACEMENT OF MORTAR, AND MASONRY UNITS.

3.0 STRUCTURAL WOOD

FRAMING IS COMPLETED.

- DESIGN, FABRICATION, AND CONSTRUCTION OF WOOD FRAMING SHALL CONFORM WITH THE FOLLOWING CODES AND STANDARDS.
- A. "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION", 2015 EDITION. (WITH SUPPLEMENT), AMERICAN FOREST AND PAPER ASSOCIATION.
- B. "TIMBER CONSTRUCTION MANUAL", FOURTH EDITION, AS ADOPTED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, INCLUDING THE "CODE OF STANDARD PRACTICE",
- C. BUILDING COMPONENT SAFETY INFORMATION BCSI I-03 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES," WOOD TRUSS COUNCIL OF AMERICA AND TRUSS PLATE INSTITUTE.
- 2. BASE DESIGN VALUES FOR ROOF TRUSS FRAMING: DOUG-FIR NO. I AND NO.2 (FB = 850 PSI, FV = 180 PSI, E = 1,600,000 PSI) MINIMUM.
- 3. THE NECESSARY IS PART OF THE NATIONAL REGISTER LISTING FOR THE GRANGE ESTATE. THE SECRETARY OF THE INTERIOR STANDARDS APPLY TO THIS WORK. FOR CONVENIENCE, HERE IS THE LINK TO THE RELATED PRESERVATION BRIEF:
- BRIEF #19: https://www.nps.gov/orgs/1739/upload/preservation-brief-19-wood-shingle-roofs.pdf PROVIDE NAILING PATTERN IN COMPLIANCE WITH IBC RECOMMENDED FASTENING SCHEDULE
- WHEN JOINING TWO OR MORE FRAMING MEMBERS. 5. ALL WOOD MEMBERS EXPOSED TO EXTERIOR TO BE PRESSURE TREATED.
- PROVIDE FASTENERS, ANCHORS AND CONNECTORS WITH ADEQUATE CORROSION PROTECTION, WHERE IN CONTACT WITH TREATED WOOD. PROVIDE MINIMUM ZMAX COATING WHERE SIMPSON CONNECTORS ARE USED IN CONTACT WITH TREATED WOOD.

LATERAL LOAD [DESIGN	
2018 INTERNATIONAL BUILDING	CODE / ASC	E 7-16
DESCRIPTION	SYMBOL	VALUE
BASIC WIND SPEED (3 SEC. GUST)	V	105 mph
RISK CATEGORY		ı
WIND LOAD IMPORTANCE FACTOR	IM	1.00
WIND EXPOSURE CATEGORY		В
INTERNAL PRESSURE COEFFICIENT	GCPI	±0.18

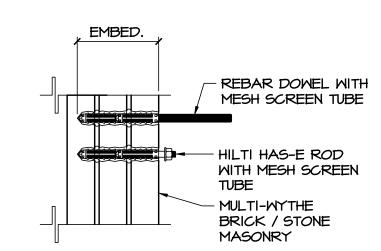
SNOW DESIGN LOADS	S	
DESCRIPTION	SYMBOL	VALUE
GROUND SNOW LOAD	Pg	25 PSF
SNOW EXPOSURE FACTOR	C.	1.0
SNOW LOAD IMPORTANCE FACTOR	l _s	1.0
THERMAL FACTOR	C_{t}	1.0
SNOW SLOPE FACTOR	Cs	1.0
ROOF SNOW LOAD (1)	₽,	20 PSF

POST-INSTALLED ANCHORS

- ALL POST-INSTALLED AND SPECIALTY ANCHORS, INSTALLATION, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ALL GOVERNING LOCAL MUNICIPAL REGULATIONS, ACI 318, IBC, RELEVANT ICC-ESR REPORTS AND ALL ANCHORS SHALL BE PREQUALIFIED PER ACI 355 TESTING.
- 2. ALL MECHANICAL AND EPOXY POST INSTALLED ANCHORS (IN CONCRETE OR MASONRY) ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURE'S PRINTED INSTALLATION INSTRUCTION (MPII) AS INCLUDED IN THE ANCHOR PACKAGING AND THE APPLICABLE ICC-ESR REPORT INCLUDING, BUT NOT LIMITED TO, DRILL BIT TYPE AND SIZE, PROPER CLEANING AND HOLE PREPARATION, INSTALLATION TORQUE, EMBEDMENT DEPTHS, CONCRETE TEMPERATURE RANGES, CONCRETE AGE, MOISTURE CONDITION, ETC.
- ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE EOR. SUBSTITUTION REQUEST FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE EOR PRIOR TO USE. THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED CALCULATIONS, FROM A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION, DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.
- 4. ALL ANCHORS SHALL MEET THE MINIMUM EMBEDMENT, SPACING, EDGE DISTANCES AND SIDE THICKNESS CRITERIA ESTABLISHED BY THE RELEVANT ICC-ESR REPORT. THE ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO THE EDGE OF CONCRETE OR MASONRY SURFACE.
- 5. EXISTING REINFORCING BARS IN THE CONCRETE OR MASONRY MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS. UNLESS NOTED OTHERWISE, THE REINFORCING BARS MAY NOT BE CUT. THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS (IF AVAILABLE) AND SHALL TAKE STEPS TO LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS USING NON-DESTRUCTIVE TESTING (FERROSCAN, GPR, X-RAY, OR OTHER APPROVED METHOD).
- 6. DRILL AND GROUT/EPOXY REINFORCING BAR DOWELS AS SHOWN ON THE PLANS, DETAILS AND AS APPROVED. UNLESS NOTED OTHERWISE, EMBED BARS AS REQUIRED TO DEVELOP THE FULL TENSION CAPACITY OF THE BAR.
- 7. EXCEPT WHERE INDICATED ON THE DRAWINGS, THE FOLLOWING POST-INSTALLED ANCHORS ARE APPROVED AS PROVIDED BY HILTI, INC. SUBSTITUTION OF THESE ANCHORS AND/OR USE OF ANY OTHER SPECIALTY ANCHORS SHALL BE SUBMITTED TO THE EOR FOR APPROVAL.

	ADHESIVE ANCHORS
SUBSTRATE	APPROVED SPECIFIED ADHESIVE AND ANCHOR
MASONRY	HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM WITH HAS-E ROD OR REBAR PER ICC ESR-4143

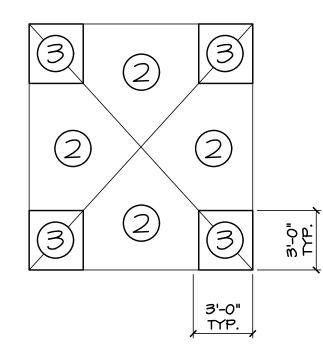
- 8. EPOXY CARTRIDGES SHALL UTILIZE THE CORRECT MIXING NOZZLE AS SUPPLIED BY THE MANUFACTURER. THE CONTRACTOR SHALL NOT RE-USE, MODIFY (CUT) OR REMOVE THE MIXING INSERT FROM THE MIXING NOZZLE.
- 9. THE CONTRACTOR SHALL UTILIZE APPROPRIATELY SIZED MESH SCREEN TUBES IN HOLLOW AND MULTI-MYTHE BRICK AND MASONRY APPLICATIONS.
- 10. ALL EPOXY ANCHORS THAT ARE TO BE INSTALLED HORIZONTALLY OR UPWARDLY INCLINED (OVERHEAD) ARE TO BE INSTALLED UTILIZING THE HILTI "PISTON-PLUG" ACCESSORY, REGARDLESS OF THE EPOXY MANUFACTURER OR MODEL. USING AN EXTENSION TUBE AND RETAINING CAP IS NOT AN ACCEPTABLE METHOD AND SHALL BE REJECTED BY THE INSPECTOR.
- II. ALL ANCHOR RODS, WASHERS, AND NUTS SHALL HAVE THE FOLLOWING CORROSION PROTECTIONS, UNLESS NOTED OTHERWISE:
- A. INTERIOR USE, NON-CORROSIVE CONDITION ZINC COATED PER ASTM B633
- B. EXPOSED TO WEATHER OR IN CONTACT WITH PT LUMBER OR CORROSIVE INDUCING ELEMENTS - MECHANICALLY DEPOSITED ZINC COATING PER ASTM B695 OR HOT-DIP GALVANIZED (HDG) PER ASTM A153
- C. NEAR SALT WATER OR EXTERIOR CORROSIVE ENVIRONMENTS STAINLESS STEEL 12. ALL ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED
- (OVERHEAD) TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY CERTIFIED PERSONNEL. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM, OR AN APPROVED EQUIVALENT. THE CONTRACTOR SHALL SUBMIT CERTIFICATES FOR RECORD PRIOR TO INSTALLATION OF ANCHORS. THE ACCEPTABILITY OF CERTIFICATION OTHER THAN ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION SHALL BE THE RESPONSIBILITY OF THE EOR.
- 13. THE CONTRACTOR SHALL ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED ON THE STRUCTURAL DRAWINGS. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLATION OF ANCHORS.
- 14. THE OWNER'S TESTING AGENCY SHALL OBSERVE THE INITIAL INSTALLATION OF EACH ANCHOR TYPE AND DURING CONSTRUCTION AT INTERVALS IN ACCORDANCE WITH THE IBC CH 17 AND ACI 318. ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR VERTICALLY INCLINED (OVERHEAD) TO SUPPORT SUSTAINED TENSION LOADS SHALL BE CONTINUOUSLY OBSERVED BY THE SPECIAL INSPECTOR. THE SPECIAL INSPECTOR SHALL PROVIDE WRITTEN REPORTS TO THE EOR AND BUILDING OFFICIAL THAT INDICATE THAT THE MATERIALS USED AND THE INSTALLATION PROCEDURES USED CONFORM WITH THE APPROVED CONSTRUCTION DOCUMENTS AND THE MPII. THE REPORTS SHALL INCLUDE DESCRIPTIONS OF THE MATERIALS AND PROCEDURES USED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- A. ANCHOR INSTALLATION ENVIRONMENT (DRY OR SATURATED CONCRETE; CONCRETE
- TEMPERATURE RANGE) B. DESCRIPTION OF THE DRILLING METHOD
- C. DESCRIPTION OF THE HOLE CLEANING PROCEDURE FOR THE SELECTED ANCHOR
- D. DESCRIPTION OF THE SELECTED ANCHOR TYPE AND SIZE RANGE (THREADED ROD OR REINFORCING BAR)



- I. DRILL & EPOXY ANCHORS IN ACCORDANCE WITH THE MPII. A. UTILIZE HILTI HIT-HY 200 IN CRACKED AND UNCRACKED CONCRETE CONSTRUCTION, UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. HILTI RE-500 V3 IS AN
 - ACCEPTABLE SUBSTITUTION. B. UTILIZE HILTI HIT-HY 270 IN MASONRY AND MULTI-WYTHE CONSTRUCTION. PROVIDE APPROPRIATELY SIZED SCREEN TUBES IN HOLLOW AND MULTI-MYTHE MASONRY CONSTRUCTION ONLY.
- 2. REFER TO PLANS AND DETAILS FOR QUANTITY, ANCHOR TYPE, DIAMETER, AND MINIMUM
- REFER TO THE MPILEOR INFORMATION NOT PROVIDED, INCLUDING BUT NOT LIMITED TO, MINIMUM EDGE DISTANCE, MINIMUM ANCHOR SPACING, CLEANING PROCEEDURES, AND INSTALLATION TORQUE REQUIREMENTS BASED ON THE SELECTED ANCHOR TYPE, DIAMETER, APPLICABLE EPOXY SERIES AND CONSTRUCTION TYPE.

STRUCTURAL ABBREVIATIONS

ADD'L	ADDITIONAL	DET.	DETAIL	INFO	INFORMATION	PROJ.	PROJECTION
A.R.	ANCHOR ROD	DIA.	DIAMETER	INV.	INVERT	QTY.	QUANTITY
APP'D	APPROVED	DIM.	DIMENSION	I.J.	ISOLATION JOINT	R	RADIUS, RISER
APPROX.	APPROXIMATE	DSR	DOUBLE SIDE ROD	JT.	JOINT	REF.	REFERENCE
AVG.	AVERAGE	DWL.	DOMEL	KN	KILONEWTON	REINF.	REINFORCE(D)
ALT.	ALTERNATE	DWG.	DRAWING(S)	K	KIP	REQ'D	REQUIRED
AISC	AMERICAN INSTITUTE OF	E.F.	EACH FACE	KB	KNEE BRACE	REV.	REVISION
7 1130	STEEL CONSTRUCTION	E.W.	EACH WAY	KPa	KILOPASCAL	SCH.	SCHEDULE
ASTM	AMERICAN SOCIETY FOR	ELEC.	ELECTRICAL	LL	LIVE LOAD	SECT.	SECTION
ASIM	TESTING AND MATERIAL	EL.	ELEVATION	LLH	LONG LEG HORIZONTAL	SER	STRUCTURAL ENGINEER OF RECORD
ARCH.		ELEV'R	ELEVATION	LLY		S.F.	STEPPED FOOTING
	ARCHITECT; ARCHITECTURAL				LONG LEG VERTICAL		
B.P.	BASE PLATE; BRG. PLATE	EMB'T	EMBEDMENT	LSL	LONG SLOTTED	SHT.	SHEET
BSMT.	BASEMENT	ENGR.	ENGINEER	L.P.	LOW POINT	55L	SHORT SLOTTED
BM.	BEAM	E.O.R.	ENGINEER OF RECORD	LBS.	POUNDS	SIM.	SIMILAR
BRG.	BEARING	EQ.	EQUAL	L.M.	LIGHTWEIGHT	50E, 550E	SUPPORT OF EXCAVATION, SHEETING
B.F.	BOTH FACES	EQUIP'T	EQUIPMENT	MFR.	MANUFACTURER		SUPPORT OF EXCAVATION
B.S.	BOTH SIDES	EXIST., EX.	EXISTING	MPII	MANUFACTURER'S PRINTED	5.O.G.	SLAB ON GRADE
BLDG.	BUILDING	EXP.	EXPANSION		INSTALLATION INSTRUCTIONS	SPA.	SPACE
BOTT.	BOTTOM	E.J.	EXPANSION JOINT	MFD.	MANUFACTURED	SST	STAINLESS STEEL
B.O.F.	BOTTOM OF FOOTING	F.S.	FAR SIDE	MAX.	MAXIMUM	STD.	STANDARD
B/	BOTTOM OF	FT.	FEET	MTL.	METAL	STL.	STEEL
CANT.	CANTILEVER	FIN.	FINISH(ED)	MECH'L	MECHANICAL	SJI	STEEL JOIST INSTITUTE
CFMF	COLD FORMED METAL FRAMING	FL.	FLANGE	M	METER	STIFF'R	STIFFENER
CTR.	CENTER	FLR.	FLOOR	mm	MILLIMETER	STIR.	STIRRUP
C.L.	CENTER LINE	F.D.	FLOOR DRAIN	MIN.	MINIMUM	SYM.	SYMMETRICAL
CLR.	CLEAR	FTG.	FOOTING(S)	MISC.	MISCELLANEOUS	STRUCT.	STRUCTURAL
	COLUMN	FDN.	FOUNDATION				SUBSURFACE UTILITY INVESTIGATION
COL.				MC	MOMENT CONNECTION	S.U.E.	
CO.	COMPANY	GALV.	GALVANIZED	N.S.	NEAR SIDE	TBD	TO BE DETERMINED
CONC.	CONCRETE	GA.	GAGE	N.W.	NORMAL WEIGHT	TEMP.	TEMPORARY
C.M.	CONSTRUCTION MANAGER	G.C.	GENERAL CONTRACTOR	N.I.C.	NOT IN CONTRACT	THK.	THICK
CMU	CONCRETE MASONRY UNIT	GR.	GRADE	N.T.S.	NOT TO SCALE	T \$ 6	TONGUE AND GROOVE
CONN.	CONNECTION	GRTG.	GRATING	NO.	NUMBER	T ¢B	TOP AND BOTTOM
CONSTR.	CONSTRUCTION	H.R.	HAND RAIL	o.c.	ON CENTER	T.O.F.	TOP OF FOOTING
CJ	CONTROL/CONSTRUCTION JOINT	HDCP.	HANDICAP	<i>O.</i> F.	OUTSIDE FACE	T.O.S.	TOP OF SLAB; TOP OF STEEL
CONT.	CONTINUOUS	HGR.	HANGER	OPP.	OPPOSITE	T/	TOP OF
CONTR.	CONTRACTOR	H.P.	HIGH POINT	OPNG.	OPENING	T	TREAD
CYL.	CYLINDER	HORIZ.	HORIZONTAL	OSHA	OCCUPATIONAL SAFETY &	TYP.	TYPICAL
DBA	DEFORMED BAR ANCHOR	I.D.	INSIDE DIAMETER	03/1/ (HEALTH ADMINISTRATION	U.N.O.	UNLESS NOTED OTHERWISE
DL	DEAD LOAD	i.F.	INSIDE FACE	PERP.	PERPENDICULAR	VERT.	VERTICAL
DEG.	DEGREE	in.	INCHES	Pc	PIECE	V.I.F.	VERIFY IN FIELD
DEMO.	DEMOLITION, DEMOLISH						WITH
DEMO.	DEMOCITION, DEMOCISH	INC.	INCORPORATED	PL.	PLATE	W/	
				P.J.F.	PREFORMED JOINT FILLER	W/O	MITHOUT
				P.T.	PRESSURE TREATED	M.M.R.	MELDED MIRE REINFORCING
						WF	MIDE FLANGE
						W.P.	MORKPOINT WALL TO WALL
						M/M	



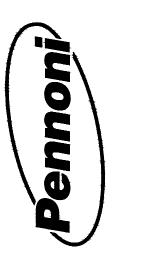
ROOF UPLIFT PLAN

	ROOF	UPLIFT SC	HEDULE	
ZONE	EFFECTIVE WIND AREA (ft²)	NET UPLIFT PRESSURE (psf)	EFFECTIVE WIND AREA (ft²)	NET UPLIFT PRESSURE (psf)
()	100	N/A	10	N/A
2	100	-10.1	10	-12.1
3	100	-10.1	Ю	-12.1

SCHEDULE ABOVE.

NET UPLIFT PRESSURE (SERVICE LEVEL) IS BASED ON ASD LOAD COMBINATION: 0.6D + 0.6W AND A ROOF DEAD LOAD OF 3 psf. DESIGN ALL ROOF FRAMING COMPONENTS FOR NET UPLIFT SHOWN IN





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02/12/2024 DRAWING SCALE AS NOTED

EAST ELEVATION

SCALE: 1/4"=1'-0"

I. FIELD VERIFY DIMENSIONS AND ELEVATIONS. 2. REPOINT STONE AREAS AS REQUIRED PER DETAIL 9/SIOI **WEST ELEVATION**

10'-5"± √.I.F.

MATCH EXISTING

ROOF PITCH

TYPICAL

SCALE: 1/4"=1'-0"

OVERHANG

FIELD VERIFY DIMENSIONS AND ELEVATIONS.

2. REPOINT STONE AREAS AS REQUIRED PER DETAIL 9/SIOI.

EXISTING CUPOLA TO BE RECONSTRUCTED TO MATCH EXISTING SEE DETAIL 8/SIOI **\$ 4/5102** - NEW CEDAR SHAKES TO MATCH EXISTING, MATCH EXISTING -ROOF PITCH REPLACEMENT ROOF SHINGLES SHALL BE TYPICAL IN KIND TO ORIGINALS WITH RESPECT TO SHAPE, PROFILE, COLOR, TEXTURE, AND OVERALL APPEARANCE. T.O. EXISTING MATCH EXISTING OVERHANG DIMENSION, TYP. REPAIR EXISTING STUCCO SYSTEM TO MATCH EXISTING EXISTING STONE? RETAINING MALL EXISTING GRADE

- EXISTING CUPOLA TO BE

OVERALL APPEARANCE.

T.O. EXISTING

- EXIST. DOOR

EXISTING STONE

RETAINING WALL

EXISTING GRADE

SEE DETAIL 8/SIOI

\$ 4/5102

RECONSTRUCTED TO MATCH EXISTING

- NEW CEDAR SHAKES TO MATCH EXISTING,

REPLACEMENT ROOF SHINGLES SHALL BE

- REPAIR EXISTING STUCCO

SYSTEM TO MATCH EXISTING

IN KIND TO ORIGINALS WITH RESPECT TO

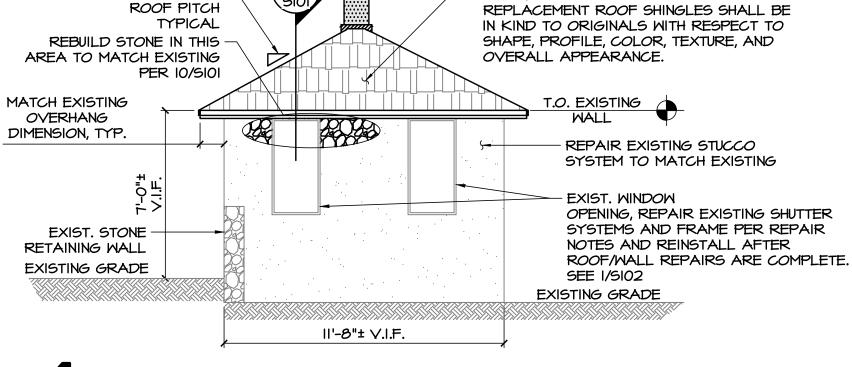
SHAPE, PROFILE, COLOR, TEXTURE, AND

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE PLAN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE TOWNSHIP.
- 2. THE CONTRACTOR SHALL FULLY PROTECT ALL EXISTING BUILDING COMPONENTS FOR THE DURATION OF THE WORK. UNTIL THE ROOF IS FULLY WATERTIGHT, A HEAVY DUTY TARP MUST BE INSTALLED OVER THE ENTIRE BUILDING EVERY NIGHT TO PROTECT THE INTERIOR FROM FURTHER DAMAGE AND WEATHER.
- 3. DURING DEMOLITION, THE CONTRACTOR SHALL EVALUATE AND SALVAGE ALL EXISTING WOOD COMPONENTS INCLUDING JOISTS, LINTELS, RAFTERS, DECORATIVE MOLDINGS AND OTHER COMPONENTS THAT ARE FREE FROM ROT, DETERIORATION, INSECT INFESTATION, MOLD OR OTHER DECAY THAT WOULD PROHIBIT REUSE OF THE MATERIAL. THESE COMPONENTS SHALL BE NEATLY STOCKPILED AT A DESIGNATED LOCATION FOR EXAMINATION BY GRANGE PERSONNEL. ALL WOOD COMPONENTS NOT SECURED BY GRANGE PERSONNEL SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL LOOSE/FALLEN MATERIAL FROM THE ENTIRE INTERIOR OF THE BUILDING.
- THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING PAINT SYSTEM ON VARIOUS COMPONENTS OF THE BUILDING LIKELY IS COMPOSED OF LEAD BASED PAINT. THE CONTRACTOR SHALL BE REQUIRED TO TEST THIS MATERIAL IN ADVANCE OF ANY WORK. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW. NO WORK SHALL COMMENCE UNTIL THE TEST RESULTS ARE PROVIDED TO THE TOWNSHIP AND THE TOWNSHIP HAS REVIEWED THEM. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LEGALLY DISPOSING OF ALL MATERIAL IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. THIS INCLUDES ANY MATERIAL THAT HAS LEAD PAINT ON IT.
- 6. STUCCO REPAIR/REPLACEMENT:
 - a. CONTRACTOR SHALL TEST BOTH THE INTERIOR AND EXTERIOR STUCCO ON THE BUILDING AND SUBMIT ALL RESULTS TO THE TOWNSHIP FOR REVIEW. ALL NEW STUCCO SHALL MATCH THE COMPOSITION, TEXTURE AND COLOR OF THE EXISTING STUCCO.
 - b. PRIOR TO MAKING ANY PERMANENT REPAIRS, A 3-FOOT BY 3-FOOT "MOCK-UP" SHALL BE COMPLETED. THE MOCK-UP SHALL INCLUDE THE FULL THICKNESS OF THE STUCCO REPAIR AS REQUIRED FOR THE WALL AND SHALL INCLUDE ALL COATS REQUIRED TO ACHIEVE THE EXISTING THICKNESS. THE FINISH COAT SHALL MATCH THE COLOR OF THE EXISTING STUCCO ON THE BUILDING.
 - c. THE TOWNSHIP SHALL HAVE A MINIMUM OF 10 WORKING DAYS TO EVALUATE AND DETERMINE IF THE MOCK-UP IS ACCEPTABLE.
 - d. REPAIR/REPLACEMENT OF STUCCO SHALL NOT BEGIN UNTIL ALL TEST RESULTS HAVE BEEN RECEIVED AND REVIEWED BY THE TOWNSHIP AND THE "MOCK-UP" HAS BEEN COMPLETED AND APPROVED BY THE TOWNSHIP.
 - e. THE LIMIT OF ALL STUCCO REPAIRS WILL BE DESIGNATED BY THE TOWNSHIP.
 - f. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR WORK ON HISTORIC BUILDINGS. THE FOLLOWING LINK TO THE ASSOCIATED PRESERVATION BRIEFS: HTTP://WWW.NPS.GOV/ORGS/1739PRESERVATION BRIEFS.HTM
- 7. REPLACEMENT ROOF SINGLES SHALL BE IN KIND TO ORIGINALS WITH RESPECT TO SHAPE, PROFILE, COLOR, TEXTURE, AND OVERALL APPEARANCE.
- 8. EXTERIOR FINISHES:
 - a. ALL NEW EXPOSED EXTERIOR WOOD SURFACES INCLUDING EXPOSED RAFTER TAILS, UNDERSIDE OF ROOF DECKING, FASCIA BOARDS, TRIM INFILL, MOULDINGS, SHUTTERS, ETC. SHALL BE PRIMED AND PAINTED WITH TWO (2) COATS OF A HIGH-QUALITY OIL BASED ENAMEL.
 - b. COLOR OF PANT TO MATCH AS CLOSE AS POSSIBLE EXISTING COLOR.
 - c. PROVIDE COLOR SAMPLES TO OWNER A MINIMUM OF 6-WEEKS PRIOR TO PAINTING FOR REVIEW AND APPROVAL
 - d. ALL EXTERIOR SURFACES TO BE PAINTED SHALL BE PREPARED IN ACCORDANCE WITH THE PAINT MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS AND ALL PAINTING CONTRACTORS ASSOCIATION (PCA) STANDARDS.



SCALE: 1/4"=1'-0"

FIELD VERIFY DIMENSIONS AND ELEVATIONS. 2. REPOINT STONE AREAS AS REQUIRED PER DETAIL 9/5101.



- EXISTING CUPOLA TO BE

SEE DETAIL 8/SIOI

\$ 4/5102

RECONSTRUCTED TO MATCH EXISTING

- NEW CEDAR SHAKES TO MATCH EXISTING

SOUTH ELEVATION

MINDOM

OPENINGS

SCALE: 1/4"=1'-0"

. FIELD VERIFY DIMENSIONS AND ELEVATIONS.

MATCH EXISTING -

2. REPOINT STONE AREAS AS REQUIRED PER DETAIL 9/SIOI

TYPICAL STONE WALL REPAIR NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY DEMOLITION. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE PLAN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE TOWNSHIP.
- 2. AS SOON AS POSSIBLE BUT NO LATER THAN 1-WEEK AFTER ISSUANCE OF THE NOTICE TO PROCEED, THE CONTRACTOR SHALL OBTAIN SAMPLES OF THE EXISTING STUCCO AND MORTAR TO HAVE THEM ANALYZED FOR ALL CONSTITUENTS PRESENT. THE RESULTS OF THIS ANALYSIS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW. ALL NEW MORTAR AND STUCCO SHALL BE IN REASONABLE CONFORMANCE WITH THE EXISTING MORTAR AND STUCCO INCLUDING PROPORTIONS OF CONSTITUENTS, CONSISTENCY, COLOR AND TEXTURE.
- 3. DURING DEMOLITION OF ROOF STRUCTURE, THE CONTRACTOR SHALL PROTECT ALL EXISTING STONE WALLS FROM DAMAGE, INCLUDING THOSE PORTIONS OF ANY STONE WALLS WHICH HAVE ALREADY BEEN COMPROMISED.
- 4. AFTER DEMOLITION OF THE ROOF STRUCTURE, THE CONTRACTOR SHALL MEET WITH THE TOWNSHIP TO REVIEW THE CONDITION OF ALL STONE WALLS AND DETERMINE THE LOCATION AND EXTENT OF THOSE WALLS REQUIRED TO BE RECONSTRUCTED/REPAIRED. THE CONTRACTOR SHALL NOT DEMOLISH OR OTHERWISE ALTER ANY PORTION OF ANY WALLS UNTIL THE TOWNSHIP HAS DESIGNATED THE EXTENT OF THE WALLS TO BE REPAIRED.
- 5. PRIOR TO DEMOLITION OF THE WALL, THE CONTRACTOR SHALL SAW CUT THE FULL DEPTH OF THE EXISTING STUCCO ON BOTH THE INSIDE AND OUTSIDE OF THE WALL TO NEAT STRAIGHT, LEVEL/PLUMB LINES. THE EXTENT OF ALL STUCCO REMOVAL SHALL BE AS DETERMINED BY THE TOWNSHIP IN CONSULTATION WITH THE CONTRACTOR. ALL STUCCO REMOVAL SHALL BE COMPLETED BY HAND WITH A HAMMER AND COLD CHISEL. EXTREME CARE MUST BE TAKEN TO AVOID ANY FURTHER DAMAGE TO THE STONE OR ADJACENT STUCCO.
- 6. DEMOLITION OF ALL STONE WALLS MUST BE COMPLETED BY HAND WITH A HAMMER AND COLD CHISEL. MECHANICAL TOOLS INCLUDING ELECTRIC OR PNEUMATIC DEMOLITION HAMMERS OF ANY TYPE ARE NOT PERMITTED. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGING ANY ADDITIONAL PORTIONS OF THE WALL.
- 7. THE CONTRACTOR SHALL SALVAGE ALL STONE REMOVED FROM THE WALL FOR REINSTALLATION. ALL MORTAR SHALL BE CAREFULLY REMOVED FROM THE STONE.
- 8. ADDITIONAL STONE NECESSARY TO COMPLETE THE WALL REPAIR/RECONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR. ALL STONE SHALL BE SIMILAR SIZE, SHAPE AND DENSITY TO THAT WHICH CURRENTLY EXISTS.
- 9. ALL STONE WALLS SHALL BE REPAIRED/RECONSTRUCTED TO THE EXISTING DIMENSIONS. ALL MASONRY WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR WORK ON HISTORIC BUILDINGS. THE FOLLOWING IS THE LINK TO THE ASSOCIATED PRESERVATION BRIEFS:

BRIEF #2: https://www.nps.gov/orgs/1739/upload/preservation-brief-02-repointing.pdf

BRIEF #22: https://www.nps.gov/orgs/1739/upload/preservation-brief-22-stucco.pdf

- 10. ALL MORTAR USED FOR REPAIR/RECONSTRUCTION OF WALLS SHALL CONSIST OF SIMILAR CONSTITUENTS AND PROPORTIONS AS THE EXISTING MORTAR. NEW MORTAR SHALL BE OF SIMILAR CONSISTENCY, COLOR, AND TEXTURE TO THE EXISTING AS DETERMINED BY THE TEST RESULTS AND CONSISTENT WITH THE SECRETARY OF THE INTERIOR STANDARDS.
- 11. ALL STONE RECONSTRUCTION/REPAIR AREAS MUST CURE FOR A MINIMUM OF SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON TOP OF OR ADJACENT TO THE SECTION BEING REPAIRED. THE CONTRACTOR MAY WORK IN OTHER AREAS OF THE PROJECT, HOWEVER ANY WORK SHALL NOT BE OVERHEAD OR WITHIN 5- FEET HORIZONTALLY OF ANY REPAIR AREA UNTIL THE MINIMUM CURING TIME HAS BEEN ACHIEVED.

ALL DIMENSIONS MUST BE VERIFIED BY CONTF AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH	
	ALL DIMENSIONS MUST BE VERIFIED BY CONT AND OWNER MUST BE NOTIFIED OF AN DISCREPANCIES BEFORE PROCEEDING WITH

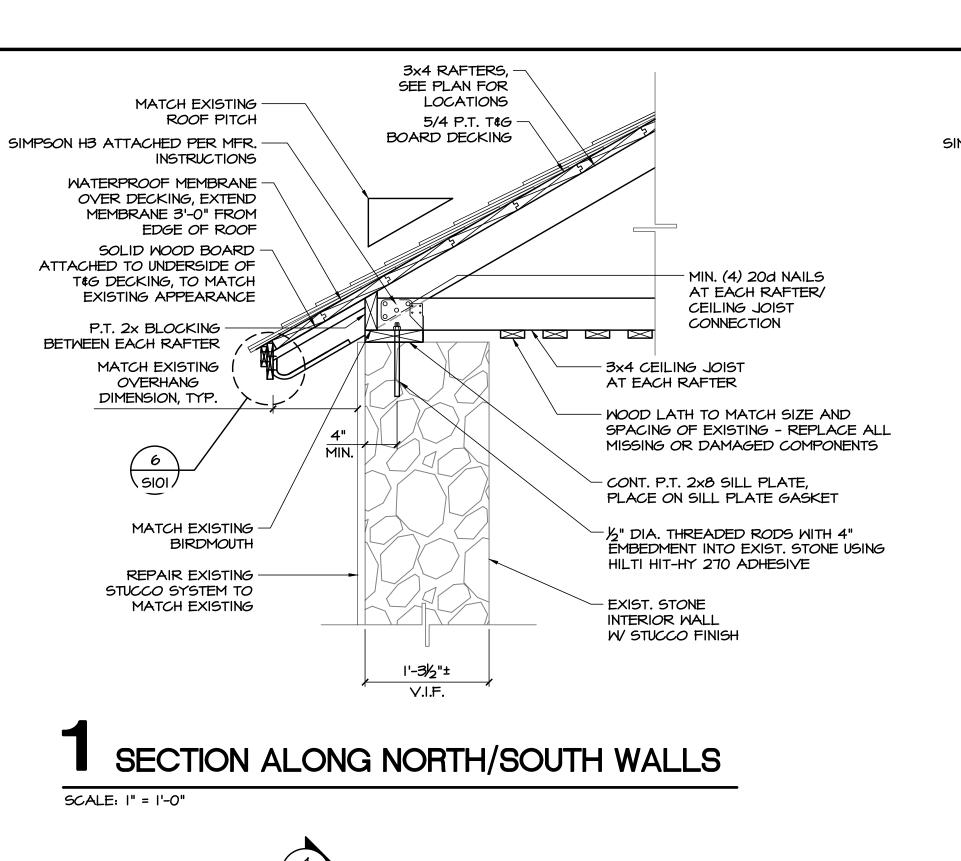
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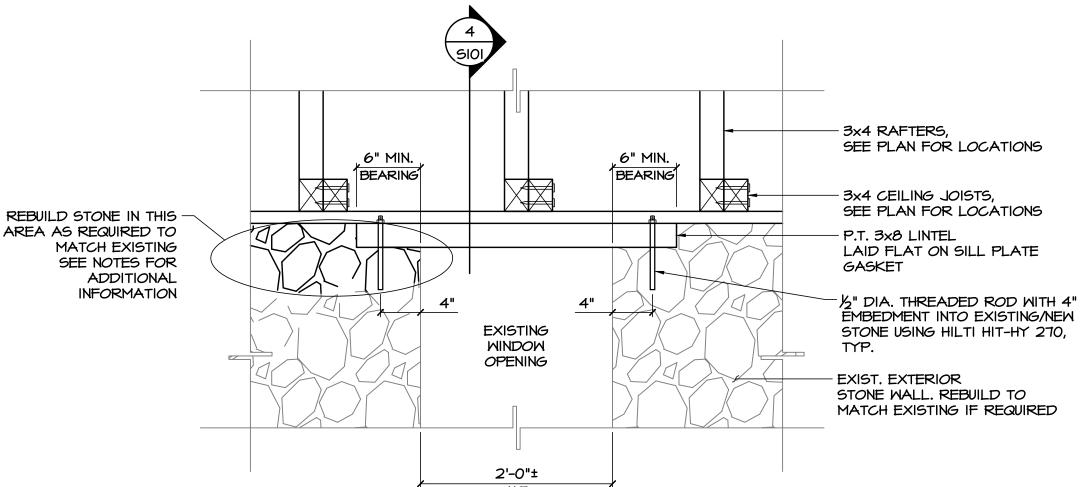
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AS NOTED

DRAWING SCALE





5 TYPICAL ELEVATION ABOVE WINDOW OPENINGS

NOTE 2 AND 3 - EXISTING STONE - NOTE 4 - EXISTING JOINT, REPOINTED

REPOINTING DETAIL

SCALE: |" = 1'-0"

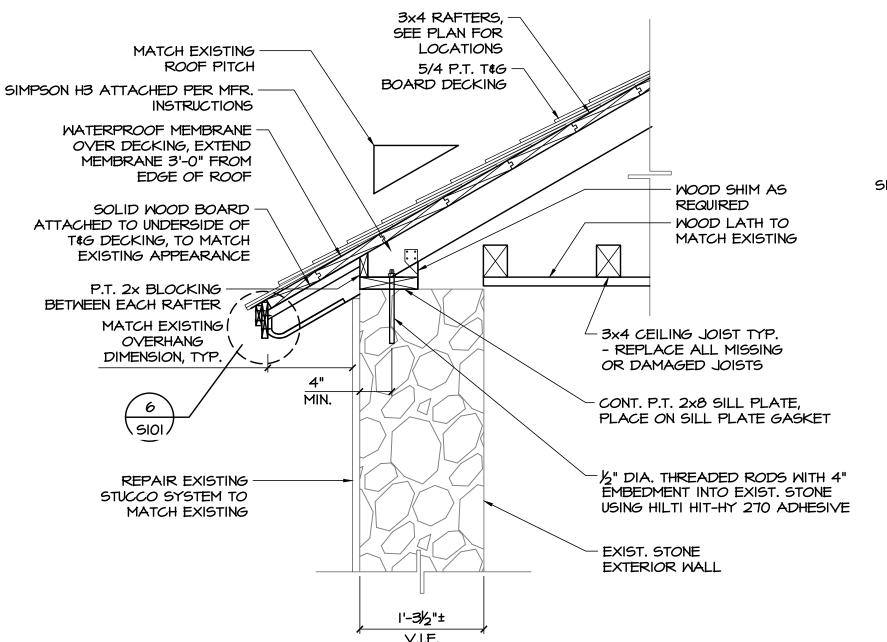
REPOINT ALL EXISTING STONE IN WORK AREA, INCLUDING HEAD & BED JOINTS UTILIZING THE

- SUBMIT MORTAR MIX FOR APPROVAL BASED ON ESTABLISHED EXISTING PROPERTIES. APPROVED MORTAR MATERIAL SHALL BE COMPATIBLE W/ EXISTING IN-SITU STONE CHARACTERISTICS & PROPERTIES INCLUDING THE EXISTING COLOR, TEXTURE, COMPRESSIVE STRENGTH PER ASTM CI314, MATERIAL COMPOSITION, AGGREGATE
- COLOR AND AGGREGATE GRADATION. 2. REPOINT BY RAKING EXISTING MATERIAL TO A MINIMUM DEPTH OF 21/2 TIMES JOINT WIDTH, BUT NOT LESS THAN 3/4" OR AS REQUIRED TO REMOVED DETERIORATED MORTAR USING A TUCK-POINT CHISEL AND HAND SLEDGE. AS AN ALTERNATE, USE A CIRCULAR SAW WITH A CARBORUNDUM BLADE AT HORIZONTAL JOINTS. TAKE CARE
- NOT TO DAMAGE EXPOSED FACE OF STONE. 3. REMOVE ALL DEBRIS FROM ALL EXPOSED SIDES OF THE STONE AND DAMPEN
- CLEANED AREA PRIOR TO INSTALLING NEW MORTAR. 4. REPOINT W/ AN APPROVED PRE-HYDRATED MORTAR MIX IN CONFORMANCE WITH ASTM C270 BY APPLYING WITH A STRIKING TOOL OR SLICK. PLACE/RAM MORTAR INTO OPEN JOINT IN MULTIPLE OVERLAYING LAYERS OF 2 TO 3, DEPENDING ON DEPTH OF OPEN JOINT. WHEN FINAL LAYER HAS BEEN APPLIED, POINT JOINT TO MATCH

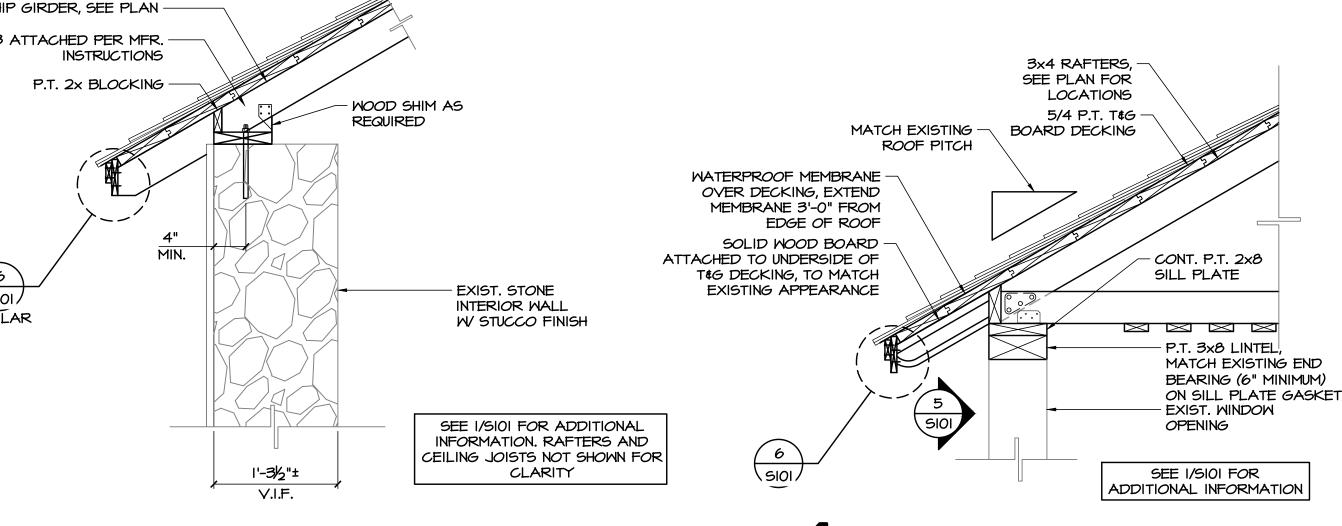
BRIEF #2: https://www.nps.gov/orgs/1739/upload/preservation-brief-02-repointing.pdf BRIEF #22: https://www.nps.gov/orgs/1739/upload/preservation-brief-22-stucco.pdf

TYPICAL MASONRY REPOINTING

SCALE: N.T.S.



HIP GIRDER, SEE PLAN -SIMPSON H3 ATTACHED PER MFR. INSTRUCTIONS P.T. 2x BLOCKING - WOOD SHIM AS REQUIRED EXIST. STONE INTERIOR WALL W/ STUCCO FINISH SEE I/SIOI FOR ADDITIONAL INFORMATION. RAFTERS AND CEILING JOISTS NOT SHOWN FOR 1'-3½"± CLARITY



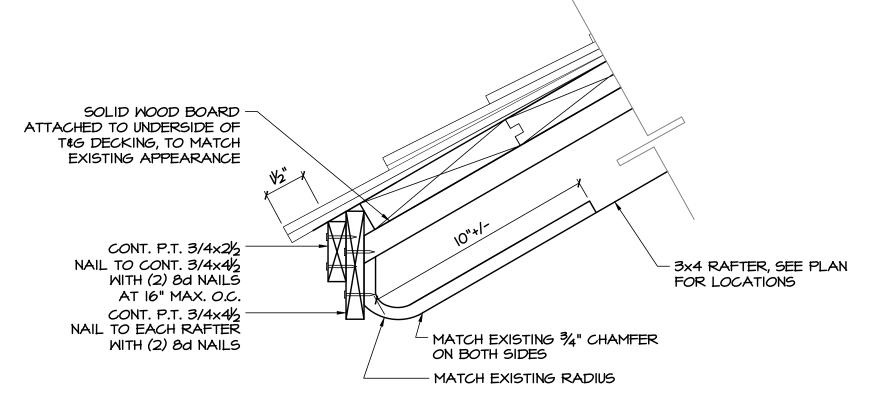
SECTION ALONG EAST/WEST WALLS

SCALE: |" = 1'-0"

SECTION AT HIP GIRDER BEARING

SECTION AT WINDOW OPENING

SCALE: |" = 1'-0"

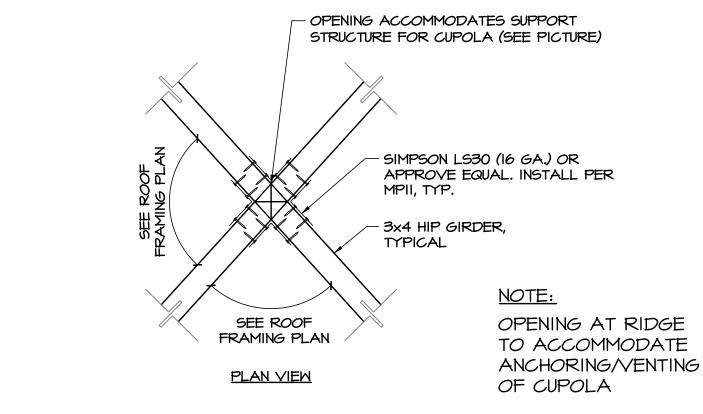


SCALE: 3" = 1'-0"

PHOTO OF EXISTING RAFTERS AT EAVE

ENLARGED EAVE DETAIL

SCALE: |" = |'-0"



ROOF HIP RIDGE DETAIL SCALE: |" = 1'-0"

FOR CLARITY

RAFTERS NOT SHOWN

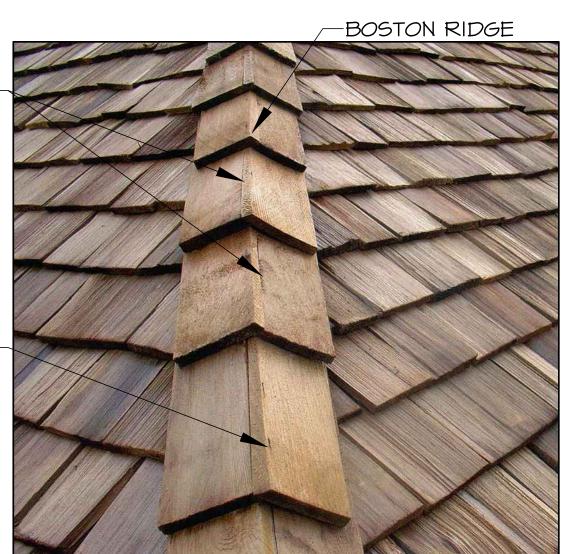
REMOVE AND REPLACE STONE MASONRY TO SOLID, STABLE LOCATION AS DETERMINED BY TOWNSHIP (12" MIN.). SALVAGE EXIST. STONE OF RE-USE AND SUPPLEMENT AS REQUIRED WITH SIMILAR STONE. EXIST. EXTERIOR STUCCO -- EXIST. INTERIOR STUCCO (SEE REPAIR NOTES DWG SI00) REPAIR NOTES DWG SIOO) EXIST. STONE WALL. REPAIR OF STONE SHALL BE MADE TO THE EXTENT DETERMINED BY THE TOWNSHIP. PRIOR TO REPAIR, OBTAIN SAMPLE OF EXISTING MORTAR TO OBTAIN PROPORTIONS OF CONSTITUENTS. USE THE SAME PROPORTIONS TO CREATE MORTAR SIMILAR IN CONSISTENCY, COLOR AND TEXTURE TO EXISTING. SUBMIT MORTAR MIX FOR REVIEW AND PREPARE MOCK UP FOR APPROVAL PRIOR TO

TYPICAL STONE WALL REPAIR

SCALE: |" = 1'-0"

TAPER EDGE OF SHAKE TO-CONFORM TO EDGE OF ADJACENT SHAKE

ALTERNATING JOINTS



ROOF SHAKES NOTES:

- I. ALL NEW CEDAR SHAKES SHALL MATCH THE EXISTING SHAKES AS CLOSE AS POSSIBLE WITH RESPECT TO SIZE, COLOR, TEXTURE, AND REVEAL.
- 2. SHAKES TO BE TAPER-SMAN CEDAR SHAKES, PREMIUM GRADE NO. I 24" LONG X \S " THICK WITH 100% EDGE GRAIN.

SCALE: N.T.S.

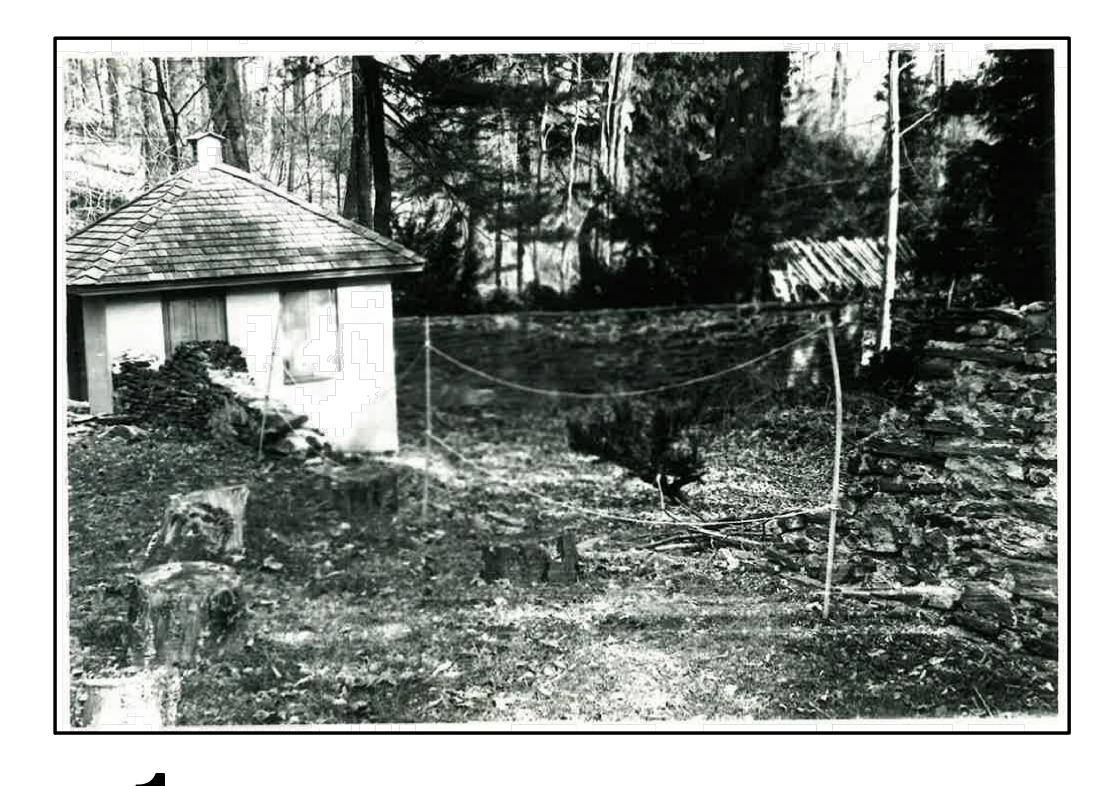
TYPICAL RIDGE CAP-HIP ROOF

EXIST. STONE RETAINING WALL 3x4 HIP GIRDER, TYPICAL 15(0) 3x4 CELLING JOISTS, MATCH SPACING OF RAFFIERS 3x4 WOOD RAFFIERS, TYPICAL 1. DEMOLISH ENTIRETY OF EXISTING ROOF FRAMING AND SILL PLATES. 2. FIELD VERIFY DIMENSIONS AND ELEVATIONS. 3. ALL NEW MOOD TO BE EXTERING READE PRESSURE TREATED. 4. REPOINT STONE AREAS AS REQUIRED PER DETAIL 4/SIOI. SIMPSON HCP4Z AT EACH HIP GIRDER TO SILL PLATE CONNECTION OR APPROVED BOIJAL. INSTALL PER MANUFACTURER INSTRUCTIONS EXIST. STONE RETAINING WALL EXIST. STONE RETAINING WALL
--

ROOF FRAMING PLAN

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ennon



SOUTH FACADE

SCALE: N.T.S.

SCALE: N.T.S.



2

SOUTH FACADE

SCALE: N.T.S.

HISTORIC PICTURES







EXISTING SHUTTER SYSTEM

SCALE: N.T.S.

SHUTTER REPAIR

SHUTTER REPAIR/INSTALLATION NOTES:

- 1. THE WINDOW OPENINGS ON THE SOUTH ELEVATION HAVE WOOD SHUTTER SYSTEMS INSTALLED FOR EACH OPENING. THE SHUTTER SYSTEM FOR THE SOUTHEAST OPENING IS INTACT. HOWEVER, THE SHUTTER SYSTEM FOR THE SOUTHWEST OPENING WAS DAMAGED. PORTIONS OF THIS SHUTTER SYSTEM WERE SALVAGED AND REMAIN ON-SITE (SEE PHOTO).
- 2. THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING PAINT ON VARIOUS WOOD COMPONENTS ON THE BUILDING SHALL BE ASSUMED TO BE LEAD PAINT. THIS MATERIAL SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- 3. THE SCOPE OF WORK ASSOCIATED WITH THE SHUTTER SYSTEM SHALL INCLUDE:
 - a. EVALUATION OF THE EXISTING SHUTTER SYSTEM IN THE SOUTHEAST OPENING AND REPAIR/REPLACEMENT OF ANY ROTTED, DAMAGED, OR INOPERABLE COMPONENT OF THE SYSTEM, INCLUDING ANY WOOD COMPONENT AND ALL HINGES AND LOCKING MECHANISMS.
 - b. RECONSTRUCTION OF THE SHUTTER SYSTEM FOR THE SOUTHWEST WINDOW TO MATCH THE SIZE, SHAPE, AESTHETICS AND OPERATION OF THE EXISTING SHUTTER SYSTEM ON THE SOUTHEAST OPENING INCLUDING BUT NOT LIMITED TO: FRAME, HEADER, TRIM, OPERABLE SHUTTERS, HINGES, LOCKING MECHANISMS AND ALL OTHER COMPONENTS NECESSARY TO DUPLICATE THE EXISTING SHUTTER SYSTEM WITHIN THE SOUTHEAST OPENING.
- 4. PORTIONS OF THE WOOD FROM THE SOUTHWEST SYSTEM HAVE BEEN SALVAGED AND ARE ON SITE. THE CONTRACTOR HAS THE OPTION TO UTILIZE THESE COMPONENTS OR RECONSTRUCT THE ENTIRE SYSTEM WITH NEW COMPONENTS.
- 5. RECONSTRUCTION OF THE SHUTTER SYSTEM SHALL COMPLY WITH THE FOLLOWING:

SCALE: N.T.S.

- a. THE FINAL PRODUCT SHOULD BE SUBSTANTIALLY IDENTICAL TO THE EXISTING SHUTTER SYSTEM IN THE SOUTHEAST OPENING INCLUDING SIZE, SHAPE, THICKNESS, TEXTURE, AND DETAILING OF ALL WOOD COMPONENTS INCLUDING: FRAME, SHUTTERS, TRIM PIECES, AND OPERATION INCLUDING THE NUMBER, SIZE, MATERIAL, LOCATION AND STYLE OF HINGES AND LOCKING MECHANISMS.
- b. THE SPECIES AND THICKNESS OF THE WOOD SHUTTER, FRAME AND SILL SHALL MATCH THE EXISTING.
- c. ALL WOOD DETAILING AND TRIM PIECES SHALL BE SUBSTANTIALLY IDENTICAL IN SIZE, SHAPE AND LOCATION TO THE EXISTING.
- d. THE NEW SYSTEM SHALL BE CONSTRUCTED IN THE SAME VERTICAL AND HORIZONTAL PLANE AS THE EXISTING.
- e. UPON COMPLETION, BOTH SHUTTER SYSTEMS SHALL BE PAINTED WITH 2-COATS OF A HIGH-QUALITY OIL-BASED PAINT IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS AND RECOMMENDATIONS. COLOR TO BE SELECTED BY OWNER
- 6. ORIENTATION OF SHUTTER IN EXISTING WINDOW TO BE DOCUMENTED PRIOR TO REMOVAL. REPAIRED SHUTTERS TO BE REINSTALLED IN THE SAME ORIENTATION AS CURRENTLY EXISTS. (SEE IMAGE 6 FOR SHUTTER ORIENTATION).



5 EXISTING CEDAR SHAKES + STUCCO

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PENNONI ASSOCIAT
1900 Market Street, Su
Philadelphia, PA 19

AND OWNER MUST BE NOTIFIED OF ANY
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EPAIR NOTES

PHOTOS & SHUTTER REPAIR NO

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DRAWING SCALE AS NOTED

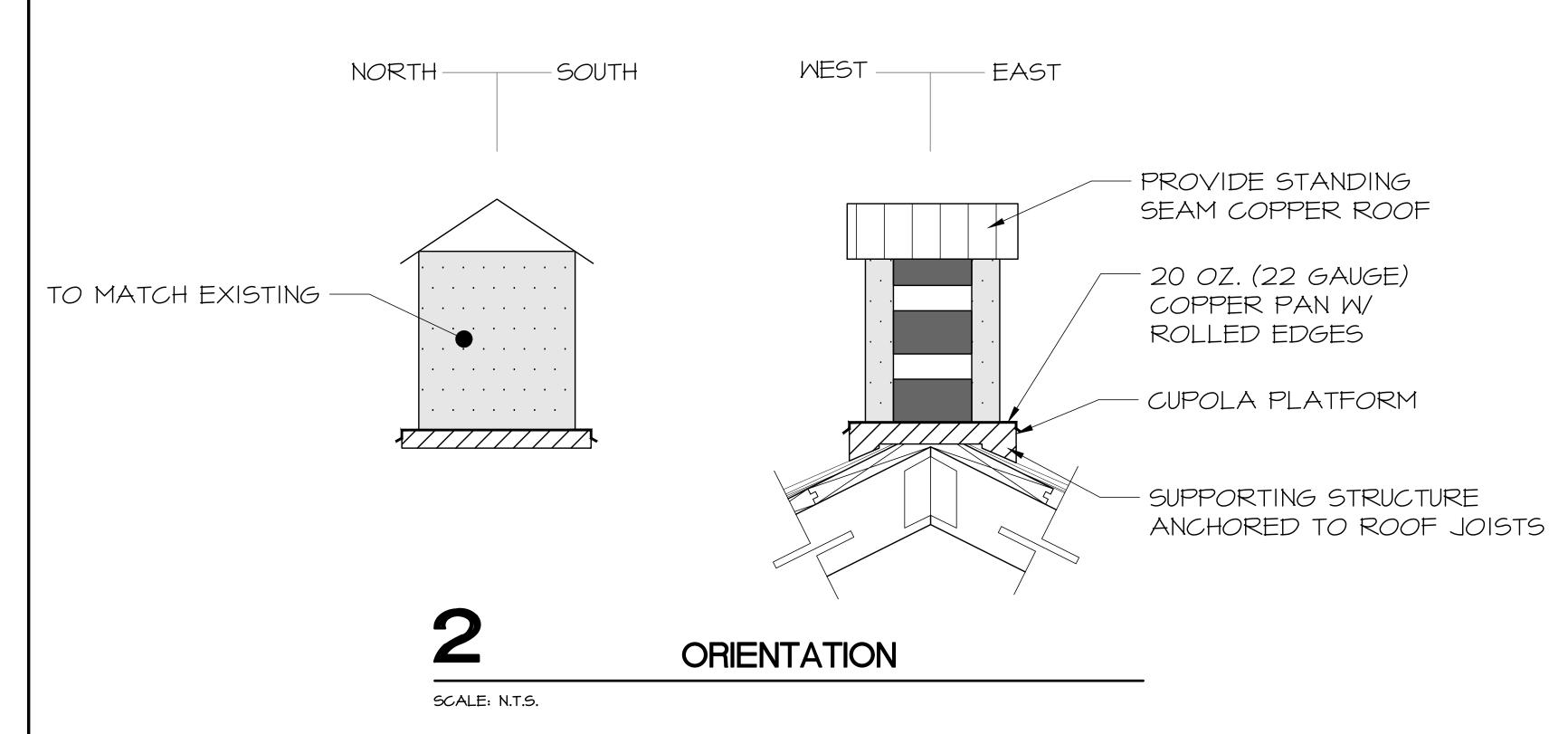
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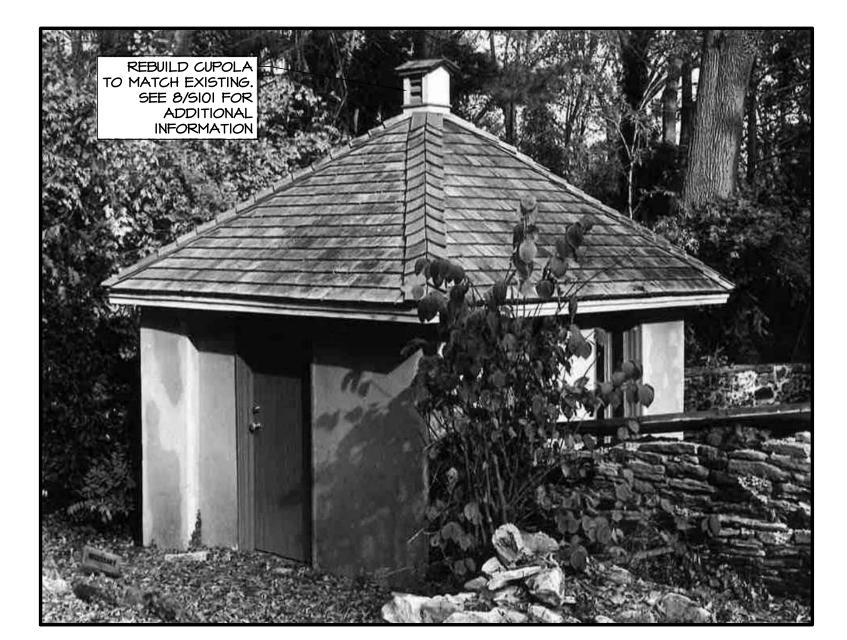
TYPICAL DETAIL

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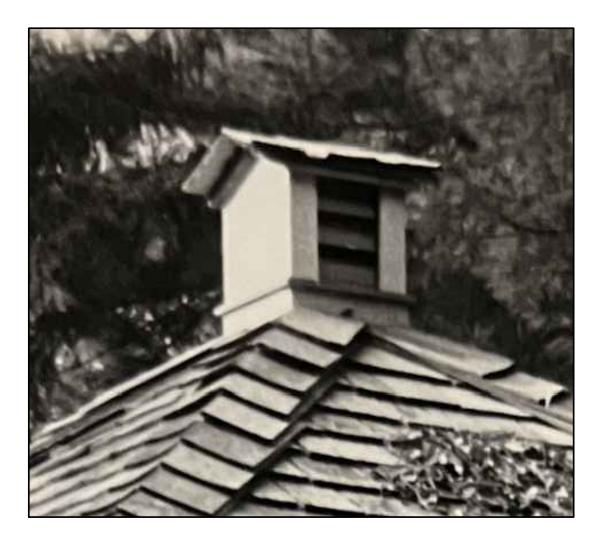


CUPOLA DETAIL

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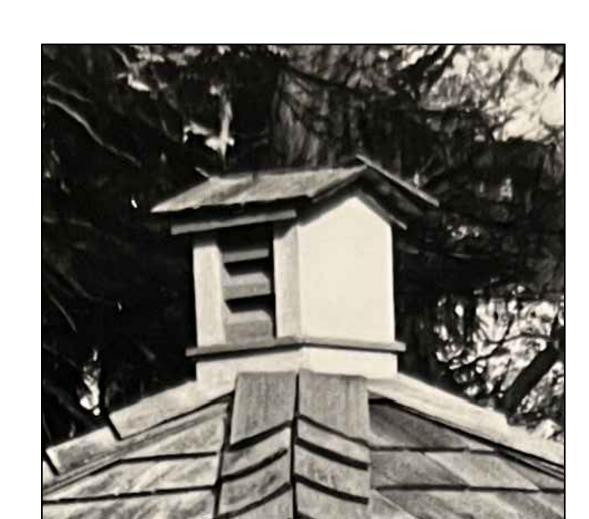


EXISTING CUPOLA



3 EXISTING CUPOLA EAST/WEST ORIENTATION

SCALE: N.T.S.



4 EXISTING CUPOLA NORTH/SOUTH ORIENTATION

CUPOLA NOTES:

- 1. THE INTENT IS TO RECONSTRUCT THE CUPOLA AS CLOSE AS POSSIBLE TO THE EXISTING BASED ON THE PORTIONS OF THE STRUCTURE SALVAGED AND HISTORICAL PHOTOS.
- 2. THE CONTRACTORS PRICE SHALL INCLUDE ALL WORK TO VERIFY EXISTING CONDITIONS AS CLOSELY AS POSSIBLE, INCLUDING SALVAGING OF THE REMAINING POTIONS OF THE EXISTING CUPOLA FROM THE DEBRIS, OBTAINING AS MANY MEASUREMENTS FROM THE EXISTING STRUCTURE REMAINING AS POSSIBLE PRIOR TO DEMOLITION, REVIEW OF HISTORICAL PHOTOGRAPHS, AND CONSTRUCTION OF A MOCKUP FOR REVIEW/APPROVAL BY THE TOWNSHIP/GRANGE PERSONNEL.
- 3. THE NEW CUPOLA SHALL MATCH AS CLOSE AS POSSIBLE THE EXISTING HISTORICAL PHOTOS INCLUDING SCALE, MATERIALS AND COLORS, UNLESS OTHERWISE INDICATED.
- 4. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A FULL-SCALE MOCK-UP OF THE CUPOLA. THE INTENT OF THIS MOCK-UP IS TO DETERMINE THE OVERALL SCALE/SIZE OF THE CUPOLA, THICKNESS/ANGLE OF THE SLATS, AND THE EXTENT OF THE OPEN AREAS ON EITHER SIDE. THE MOCKUP SHALL BE CONSTRUCTED OF MINIMUM ¾-INCH PLYWOOD AND FULLY DEPICT ALL ASPECTS OF THE NORTH AND WEST SIDES, AND THE ROOF.
- 5. VISIBLE EXTERIOR COMPONENTS OF THE CUPOLA SHALL BE CONSTRUCTED OF No 1 WESTERN RED CEDAR WITH AN "A" APPEARANCE GRADE. ALL OTHER STRUCTURAL NON-VISIBLE COMPONENTS SHALL BE CONSTRUCTED OF No. 1 OAK OR CYPRESS.
- 6. CUPOLA BASE SHALL BE ATTACHED TO ROOF JOISTS VIA VERTICAL SUPPORTS ON THE INTERIOR OF THE STRUCTURE DOWN THROUGH THE OPENING AT THE PEAK OF THE ROOF- SEE PICTURES.
- 7. INSTALL FLEXIBLE SELF-ADHERING WATERPROOFING MEMBRANE AROUND THE ENTIRE PERIMETER OF THE FRAMING ASSOCIATED WITH THE PLATFORM OF THE STRUCTURE. COUNTERFLASH SIDES OF SUPPORTING PLATFORM WITH WATERPROOF MEMBRANE. MEMBRANE. INSTALL FINISH TRIM OVER MEMBRANE.
- 8. THE CUPOLA IS AN OPERATING VENT. INSTALL ¼-INCH 16-GAUGE STAINLESS STEEL DIAMOND MESH LATH ON THE INSIDE OF THE NORTH AN SOUTH SIDES OF THE STRUCTURE TO PREVENT ENTRY OF ANIMALS. SECURE LATH WITH 1-INCH STAINLESS STEEL ROOFING NAILS, OR APPROVED EQUAL, AT 6-INCH CENTERS AROUND ENTIRE PERIMETER.
- 9. ALL WOOD COMPONENTS OF THE CUPOLA TO BE PAINTED WITH 2-COATS OF A HIGH-QUALITY OIL-BASED PAINT. COLORS TO MATCH AS CLOSE AS POSSIBLE COLORS DEPICTED ON HISTORICAL PHOTOGRAPHS.

Pennoni

PENNONI ASSOCIATE
1900 Market Street, Suite
Philadelphia, PA 19103

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143 MYRTLE AVENUE
HAVERTOWN, PA 19083

CUPOLA PLAN

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