

BERNARDON

ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE

ADDENDUM NO. 1

Project Name: Building Renovation for Haverford Township Free Library
Project No.: 7010.03-22
Date of Issue: October 4, 2023
Notice 1: Attach this addendum to the Project Manual for this project. It modifies and becomes part of the Bidding Documents. Work or material not specifically mentioned herein is to be as described in the main body of the Project Manual, and as shown on the drawings.

Table of Contents: This Addendum includes the following:

- A. Meeting Minutes of Pre-Bid Meeting held on October 3, 2023, and written addendum (six pages total)
- B. Electrical sketch SKE1.1 (1 page)
- C. Specification section 001410 – *Bid Form* (8 pages)
- D. Specification section 011200 - *Multiple Contract Summary* (28 pages)
- E. Specification section 012300 – *Alternates* (4 pages)
- F. Specification section 028200 – *Hazardous Material Abatement* and three documents referenced in the section (12 pages)

MEETING MINUTES

Location: 1601 Darby Road, Havertown, PA 19083
Date of Meeting: Tuesday, October 3, 2023, 8:30 AM
Present for: Haverford Township Free Library (HTFL)
Deb Morley
Donna Reeves

Bidding Contractors

Andrea DiFabio – BSS Contractors LLC
Omar Delajarra – Boro Construction
Mike Ferguson – Valley Brook LLC
Tara Marrongelli – Rycon Construction
Ray Navarro – Boro Construction
Jennifer Orr – L.J. Paoella Construction
John O’Toole – Temporary Wall Systems



Building Renovation for Haverford Township Free Library
Addendum No. 1
Bernardon Project No. 7010.03-22

October 4, 2023
Page 2

Matt Saviski – McCarthy Construction
Justin McConnell – AJM Electrical
Gary Moore – Lynch Electric
Tyler Myers – Yates Electric
R. Hirschberg – Hirschberg Mechanical
Shawn Nagle – Dolan Mechanical
Todd Shook – JBM Mechanical

C.B. Development – Owner’s Representative/Construction Manager
Randon Petrae (CBD)
Ken Matthews (CBD)

Bernardon – Architect
Eric Trainer

The purpose of the meeting was to:

Review the Bidding Documents, review contractor’s questions on the Bidding Documents and tour the proposed construction area. These meeting minutes will be considered as part of Addendum No. 1 and will become part of the Bidding Documents. Postscripts to these minutes will include issues not discussed during the meeting, corrections made to comments made at the meeting and/or responses to questions that were raised during the meeting.

The topics discussed were as follows:

- 1.01 Ken Matthews, HTFL’s Construction Manager conducted the meeting. Eric Trainer of Bernardon provided information about the documents and design.
- 1.02 It was noted that the pre-bid meeting is a mandatory attendance meeting as part of the bidding process. It was noted that by signing the Bid Form bidders attest that they have visited the site to familiarize themselves with conditions. Note that a revised Bid Form is provided as part of this addendum.
- 1.03 The Bidding Documents have been provided to registered Bidding Contractors through the Architect’s file share site, BIM 360. All Contractors are to be registered to the file share site and should obtain the bid documents through this file share site and not through 3rd party sources. Addenda will only be issued to the Bidders through the Architect’s file share site. Bidding Prime Contractors are to provide all documents to their sub-contractors.
- 1.04 Dates will be established for Bidders or subcontractors to visit the site.



Building Renovation for Haverford Township Free Library
 Addendum No. 1
 Bernardon Project No. 7010.03-22

October 4, 2023
 Page 3

Postscript: The HTFL site can be reviewed on the following two dates and times. Bidders are to contact Randon Petrae at rpetrae@cbdsi.com or Ken Matthews at kmatthews@cbdsi.com at least 24 hours in advance to notify them of their attendance and on which day they will be attending and the contractors who will be joining them.

Contractors are to meet Randon Petrae and/or Ken Matthews at the HTFL Lobby at 8am and will have an hour to walk the site. Please do not show up unannounced on these or other days.

The two visiting dates are as follows:
 Thursday, October 5, 2023, from 8:00am to 9:00am
 Friday, October 6, 2023, from 8:00am to 9:00am

If questions arise during the site visit, please submit them to Eric Trainer in writing and they will be answered officially via an Addendum. If requested by the Bidders, another visit date may be established; however contractors can only visit the site on a scheduled meeting date.

- 1.05 The Architect reviewed the main components of the Bidding Documents: The Invitation to Bid, Bid Proposal Form, and the Project Manual and Drawings. The Prime Contractors (as well as all sub-contractors) are responsible for reviewing all Bidding Documents in order to coordinate their work with the work of other contractors.
- 1.06 Invitation to Bid and Bid Form items were clarified, along with bidding milestones:
 - A. Bid due date, time and location are found in the Invitation to Bid. Emailed or faxed bids are not allowed.
 - B. The Invitation to Bid references a number of requirements that the Contractor needs to meet including the Haverford Township Responsible Contractor Ordinance.
 - C. Contractor's questions must be forwarded to Eric Trainer of Bernardon in writing, via email at etrainer@bernardon.com, to be answered in the form of addenda. No other answers will be considered valid. The date for final submission of questions is found in the Invitation to Bid.
- 1.07 Value engineering suggestions are welcomed but should be treated as separate voluntary alternates and should not be reflected in the Base Bid. The Base Bid is to include all Basis of Design products and systems. If any substitutions are proposed as part of a value engineering alternate, Contractor shall be responsible to absorb any additional costs incurred by substitutions including but not limited to additional piping, ductwork, wiring, increased wire or breaker sizes, structural supports/dunnage, and additional finishes that may be required to enclose these elements. Any redesign costs associated with substitutions shall be borne by the contractor.



- 1.08 It was noted that the project budget approved by Haverford Township in Exhibit A from Township Ordinance 2974-2023 is \$20.8 million, including all hard costs, soft costs, and contingency.
- 1.09 The following site logistics were discussed:
- A. Milestone dates for the project are listed in specification section 011000 Summary.
 - B. Attention was drawn to Civil Engineering sheet 10 for site logistics information.
 - C. The Township is in the process of acquiring a nearby property that may be available during construction for contractor's trailers. See Add Alternate that has been added as part of this addendum.
- 1.10 CBD and Bernardon gave a brief overview of the scope of work indicated in the bid documents.
- 1.11 All attendees toured the building and effected exterior spaces. Questions raised are answered below. The following comments were made:
- A. HTFL will check to see if the existing EPDM roof is still under warranty. A response will be given in a later addendum.
 - B. (Postscript: Attention is drawn to the documented 2" expansion joint between the existing building and new addition over the parking lot. The joint is at floor wall and roof planes, as shown in details.)

It is believed that these meeting minutes accurately reflect the discussions held and decisions reached. If there are any additions or corrections, kindly inform this office within five (5) working days.

CHANGES TO DRAWINGS

1. On Sheet **A0.0**, at Keynotes R07.01, R07.02 and R07.07, change "Fully Adhered White..." to read "Fully Adhered Black...". All EPDM roofing to be black.
2. On Sheet **D1.0**, at Demolition Keynote D89 change "Owner's separate Environmental Contractor to drain equipment of oil" to read "Reference Specification Section 028200 Hazardous Materials Abatement for requirements to remove oil from equipment."
3. On Sheet **D1.1**, at existing restrooms near column B/2 at the wet wall between restrooms add Keynote D01 to represent removal of the wall, the full length of the wet wall.
4. On Sheet **D1.2**, at existing restrooms near column B/2 at the wet wall between restrooms add Keynote D01 to represent removal of the wall, the full length of the wet wall.
5. On Sheet **A1.1**,
 - a. At Restrooms (Room 111 and 112) at the wet wall between restrooms add Wall Type 2



- to represent a new wet wall partition, the full length of the wet wall.
- b. At conduit enclosure along column line 7 between column lines C and D, delete the conduit enclosure and the reference to it. The conduits will be placed exposed in Storage (Room 105B).
 - c. At gas meter near column D/9, provide another bollard designated with Keynote G05.03 for a total of two (2) bollards at the gas meter.
6. On Sheet **A1.2**,
 - a. At Restrooms (Room 216 and 218) at the wet wall between restrooms add Wall Type 2 to represent a new wet wall partition, the full length of the wet wall.
 - b. At conduit enclosure along column line 7 between column lines C and D, delete the conduit enclosure and the reference to it. The conduits will be placed exposed in Storage (Room 204A).
 7. On Sheet **A1.5**, at exterior 2'x4' ceiling tile area bounded by column lines 8, 9, B and C, add a label identifying the ceiling as XCP-1 at 8'-6".
 8. On Sheet **A5.11**, delete detail 14/A5.11, Plan Detail – Conduit.

CHANGES TO SPECIFICATIONS

1. 001410 – *Bid Form*: To UNIT PRICES, General Construction add Alternate 14 and Unit Price #G-20. The revised specification section is attached as part of this addendum.
2. 007000 – *GENERAL CONDITIONS OF THE PROJECT FOR CONSTRUCTION (AIA 201)*: In the A-201, delete subparagraph 11.3.1.1- vii concerning Special Coverage for working over the neighbor's property. Delete the associated Falcone Property Wall detail below the subparagraph.
3. 011000 – *Summary*: To paragraph 1.9 B add "6. Flat Panel Display wall mounting brackets will be provided by the Owner to be installed by the GC."
4. 011200 - *Multiple Contract Summary*: Multiple modifications have been made to section effecting all Prime Contractors. The revised specification section is attached as part of this addendum. Modifications are shown in red text.
5. 012300 – *Alternates*: To 3.1 SCHEDULE OF ALTERNATES, add paragraph N regarding Add Alternate 14. The revised specification section is attached as part of this addendum. Modifications are shown in red text.
6. 012750 – *Unit Prices and Quantity Allowances*: to paragraph 3.3 GENERAL CONSTRUCTION – SCHEDULE OF UNIT PRICES AND QUANTITY ALLOWANCES add the following:

“T. UNIT PRICE G-20: PROJECT SIGN:

 1. Description: Provide and install one project sign. Architect will provide design of sign graphics. Contractor to produce sign on hard surface material and posts secured into ground.



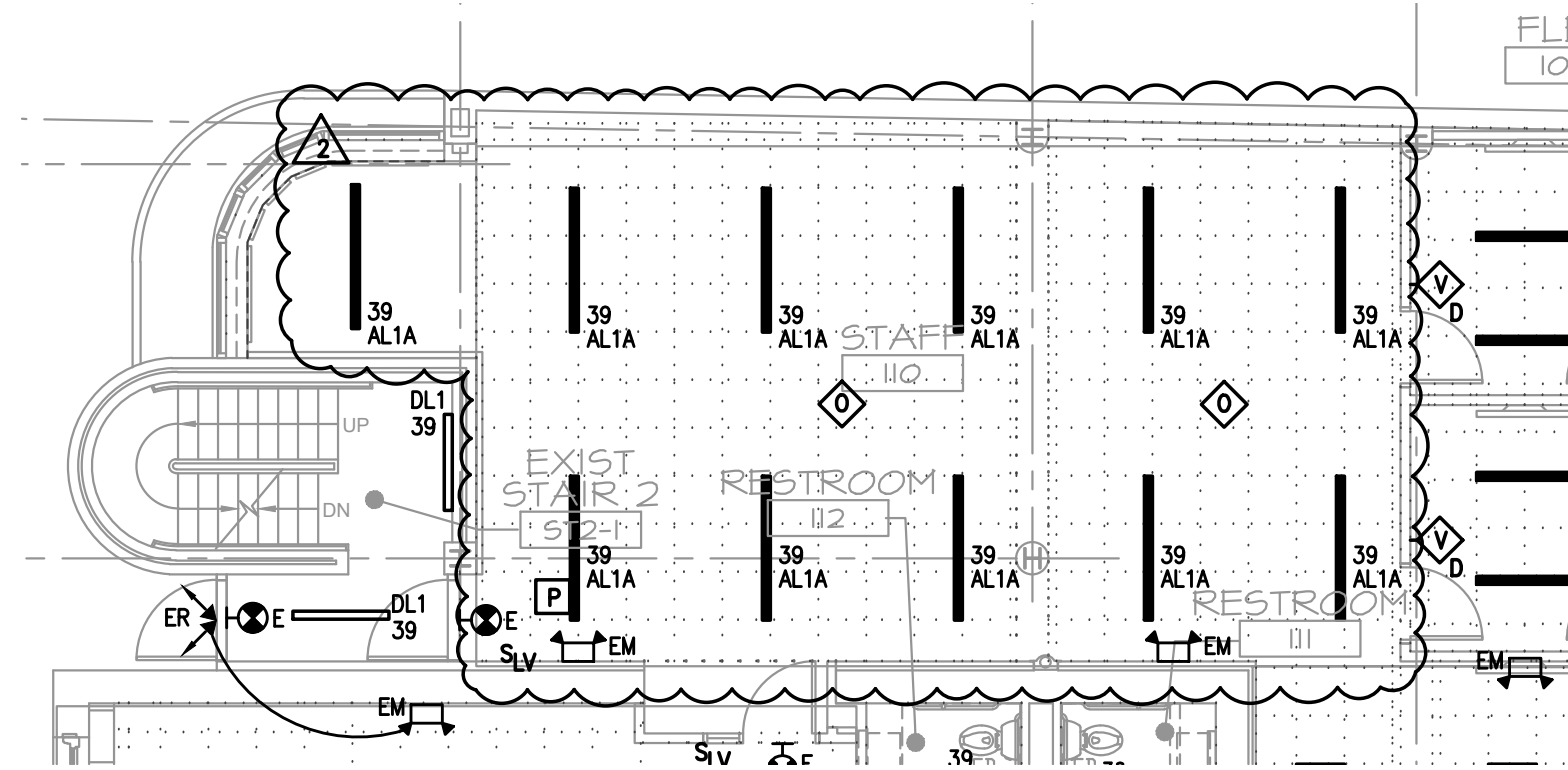
2. Unit of Measure: Per installed sign.
3. Quantity Allowance:
 - a. Include \$5,000 for one installed sign.”
7. 012900 - *Payment Procedures*: At paragraph 1.4.C change “Pencil copies of pay applications are due to be submitted to the On-Site Construction Manager on the 25th day...” to read “Pencil copies of pay applications are due to be submitted to the On-Site Construction Manager on the 20th day...” and replace “...four (4) notarized originals...” with “...electronic copies of notarized original...”. To end of paragraph, add “Mailed final originals are not required.”
8. 013100 – *Coordination*: At paragraph 1.3.C, change “...no later than 90 days...” to read “...no later than 55 days...”.
9. 013200 *Construction Progress Documentation*: After “Part 2 CPM CONSTRUCTION SCHEDULE”, add “For required dates for producing the CPM Construction Schedule, see section 011000, Summary, subparagraphs 1.6.B.6 through 1.6.B.10.” The timelines listed in section 011000 override the schedule production timelines listed in Part 2 CPM CONSTRUCTION SCHEDULE.
10. 013200 *Construction Progress Documentation*: at the end of paragraph 3.9.A add “21. Daily reports must be submitted electronically every week during construction to the Construction Manager.”
11. 028200 – *Hazardous Material Abatement*: add three more documents to the list of sections incorporated into this section. Modifications are shown in red text. The revised specification section and the three new documents are attached as part of this addendum.
12. 077323 Ethylene-Propylene-Diene-Monomer (EPDM) Roofing: At paragraph A.3 change “White on black for areas of new roof; black for patching existing roofing” to read “Black for areas of new roof and patching of existing roofing.”

RESPONSES (R) TO BIDDER QUESTIONS (Q):

- Q1: I am doing the light counts for this project and came to notice that on print E1.1 in the Staff room 110, Upper Left hand Corner of the print. It has AL2 listed. However AL2 are 2x2 LED Recessed. As you can see those are not 2x2. Please advise when you get this. I would like to know if they are supposed to be AL1A or any AL Fixture.
- R1: Light fixtures in Staff (Room 110) have been corrected to read “AL1A” per sketch SKE1.1 attached as part of this addendum.

End of Addendum No. 1

FLE
108



NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

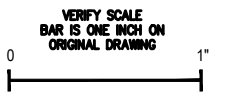
THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

Project :
**HAVERFORD TOWNSHIP
FREE LIBRARY
1601 DARBY ROAD
HAVERTOWN, PA 190823**

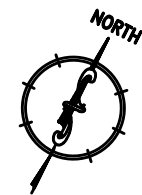
Date:	OCTOBER 3, 2023
Drawn By:	KAG
Checked By:	KAG
Project Number:	2022-411

Issued / Revisions		
No.	Date	Description
	XX/XX/14	x

Sheet Title :
**PARTIAL FIRST FLOOR
PLAN- LIGHTING**



Drawing Number :
SKE1.1



PARTIAL FIRST FLOOR PLAN - LIGHTING

SCALE: 1/8"=1'-0"

1 **SECTION 0041 00 - BID FORM**
2
3

4 **Project Name:** _____
5

6 Contract No. Proposed (check contract that applies; if bidding more than one contract, submit
7 separate bid forms for each contract):
8

- 9 Contract No. 1- General Construction
10
11 Contract No. 2- Plumbing and Fire Protection Construction
12
13 Contract No. 3- HVAC Construction
14
15 Contract No. 4- Electrical Construction
16
17
18
19

20 Bidder's Contact's Name and Title: _____
21

22 Contractor's / Bidder's Name:
23

24 Contact's Telephone Number: _____
25

26 Address: _____
27
28

29 In conformity with the Plans and Specifications as prepared by Bernardon. 123 Justison Street, Suite 101,
30 Wilmington, DE 19801 after an examination of the site and the Bidding and Contract Documents,
31 the undersigned submits this proposal and enclosed herewith a bond in an amount of not less than ten
32 percent (10%) of the total of the hereinafter stated Base Bid, made payable to or indemnifying the
33 Township of Haverford, 1014 Darby Road, Havertown, PA 19083, which it is understood will be
34 held by the Owner, as security as provided in the Instructions to Bidders, if this proposal or any part
35 thereof is accepted by the Owner, and the undersigned shall fail to furnish approved bond, certificates
36 of insurances, verifications forms and execute the Agreement within ten (10) days from the date of
37 issuance of the Notice of Intent to Award. Should the Owner fail to make an award on this project
38 through no fault or failure on the part of the Bidder, then the Owner shall return said bid security.
39

40 It is hereby certified that the undersigned is the only person(s) interested in this proposal as
41 principal, and that the proposal is made without collusion with any person, firm or corporation. The
42 Bidder submits herewith, as such, a Non-Collusion Affidavit in accordance with the provisions of the
43 Pennsylvania Anti-bid-Rigging Act of October 28, 1983.
44

45 Bidder hereby agrees to execute the Agreement and furnish surety company bonds in the amount of one
46 hundred percent (100%) of the Contract Sum for the Performance Bond and Labor and Material
47 Payment Bond, within ten (10) days after mailing by the Owner of notice of intent to award, and to
48 begin work with five (5) days after date of Notice to Proceed.
49

50 Bidder guarantees that, if awarded contract, he will furnish and deliver all materials, tools, equipment,
51 tests transportation, secure all permits and licenses, do and perform all labor, supervision and all means

1 of construction, pay all fees and do all incidental work, and to execute, construct and finish, in an
2 expeditious, substantial and workmanlike manner, in accordance with the plans and specifications, to
3 the complete satisfaction and acceptance of the Owner, for the Work of this Contract for the
4 Township of Haverford, Building Renovation for Haverford Township Free Library, located at 1601
5 Darby Road, Havertown, PA.

6
7 It is understood that the Owner, reserves the right to reject any or all proposals, or part thereof, or items
8 therein and to waive technicalities required for the best interest of the Owner. It is further understood
9 that competency and responsibility of bidders will receive consideration before the award of the
10 contract. A certified copy of the Contractor's Qualification Statement, AIA Document A-305 will be
11 submitted as required upon the request of the Owner.

12
13 Bidders submit this proposal with the understanding that the work shall be substantially completed 452
14 calendar days from time that **Notice To Proceed** is issued plus 30 days for punch list and closeout.
15 The time for completion of the work of all contracts shall be considered as of the essence of this
16 Contract.

17
18 The Contractor understands and agrees the **TIME IS OF THE ESSENCE** and that stated dates for
19 completion are minimum performance dates. Notwithstanding anything to the contrary contained in
20 the Contract Documents, should the progress of the Project be ahead of schedule dates, the Contractor
21 agrees to coordinate and complete its Work in accordance with the actual Project Progress and the
22 actual pace of the Project without additional compensation.

23
24 The bidder agrees that he will not assign his bid or any of his rights or interests thereunder without the
25 written consent of the Owner. In the event of a discrepancy between the verbiage (words) and numbers
26 entered here below, the verbiage shall govern.

27
28 The bidder acknowledges that they have visited the site and become thoroughly acquainted with the
29 conditions existing at the building and site, and have satisfied themselves concerning any and all
30 existing conditions that will affect their bid as well as affect the progress and
31 construction as described in the Contract Documents or otherwise necessary to complete the work.

32
33 **Bid Withdrawal**

34
35 This proposal is submitted with the definite understanding that it will not be withdrawn for a period of
36 sixty (60) days after Bids are due, or any authorized postponement thereof.

37
38 **THE BID, as called for, is submitted as**
39 **follows: Item A. BASE BID:**

40 For all Construction Work, complete, as shown and specified in the Contract Documents for the lump
41 sum of:

42
43 _____
44
45
46
47 **Dollars (\$ _____)**

48
49 **Instructions for Alternates:**

- 50
51 1. Alternate bid amounts will be either an add or a deduct dollar amount to/from the lump
52 sum base bid.
53 2. Under the contract category being bid:
54 a. Fill in the amount (ADD or Deduct) for the Alternate. Where
55 "Add/Deduct" Alternates are indicated, cross off the option **Not** used.

- 1 b. Failure to make clear on the bid form, which option applies to the amount will by
- 2 default make the alternate an Add Alternate.
- 3 An example for a deduct Alternate: Add/ Deduct \$ _____
- 4 c. If an alternate called for does not involve a change in Bidder's price, the Bidder
- 5 shall so indicate by writing "No Change, None, Zero, 0, no cost, or N/A" in one of
- 6 the spaces provided.
- 7 d. "No Bid" is an acceptable entry, but may be cause for rejection of bid. Failure to make
- 8 an entry (i.e. leaving it blank) shall be conclusively treated as an entry of "No Bid" for
- 9 an alternate.
- 10 e. Leave spaces blank under the Prime Contract categories Not being bid by this
- 11 Prime Contract.

ALTERNATES: (See Section 012300 for full description)

Alternate No. 1 - ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 2 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 3 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 4 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 5 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 6 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 7 – ADD/DEDUCT

_____ Dollars (\$ _____)

Alternate No. 8 – ADD/DEDUCT

1		Dollars (\$)
2	<hr/>		
3	<u>Alternate No. 9 – ADD/DEDUCT</u>		
4			
5		Dollars (\$)
6	<hr/>		
7	<u>Alternate No. 10 – ADD/DEDUCT</u>		
8			
9		Dollars (\$)
10	<hr/>		
11	<u>Alternate No. 11 – ADD/DEDUCT</u>		
12			
13		Dollars (\$)
14	<hr/>		
15	<u>Alternate No. 12 – ADD/DEDUCT</u>		
16			
17		Dollars (\$)
18	<hr/>		
19	<u>Alternate No. 13 – ADD/DEDUCT</u>		
20			
21		Dollars (\$)
22	<hr/>		
23	<u>Alternate No. 14 – ADD/DEDUCT</u>		
24			
25		Dollars (\$)

26	<u>UNIT PRICES</u>
27	
28	General Construction
29	
30	Unit Price #G-1 _____
31	
32	Unit Price #G-2 _____
33	
34	Unit Price #G-3 _____
35	
36	Unit Price #G-4 _____
37	
38	Unit Price #G-5 _____
39	
40	Unit Price #G-6 _____
41	
42	Unit Price #G-7 _____
43	
44	Unit Price #G-8 _____
45	
46	Unit Price #G-9 _____
47	

- 1 Unit Price #G-10 _____
- 2
- 3 Unit Price #G-11 _____
- 4
- 5 Unit Price #G-12 _____
- 6
- 7 Unit Price #G-13 _____
- 8
- 9 Unit Price #G-14 _____
- 10
- 11 Unit Price #G-15 _____
- 12
- 13 Unit Price #G-16 _____
- 14
- 15 Unit Price #G-17 _____
- 16
- 17 Unit Price #G-18 _____
- 18
- 19 Unit Price #G-19 _____
- 20
- 21 Unit Price #G-20 _____
- 22
- 23 **Plumbing and Fire Protection Construction**
- 24
- 25 Unit Price #FP-1 _____
- 26
- 27 Unit Price #FP-2 _____
- 28
- 29 Unit Price #P-1 _____
- 30
- 31 Unit Price #P-2 _____
- 32
- 33 **HVAC Construction**
- 34
- 35 Unit Price #H-1 _____
- 36
- 37 Unit Price #H-2 _____
- 38
- 39 Unit Price #H-3 _____
- 40
- 41 Unit Price #H-4 _____
- 42
- 43 **Electrical Construction**
- 44
- 45 Unit Price #E-1 _____
- 46
- 47 Unit Price #E-2 _____
- 48

1 Unit Price #E-3 _____
2

3 **ATTACHMENTS:**
4

5 The following Documents are attached and are made a condition of this Bid:

- 6
- 7 a. Contractor Integrity statement - Attachment A.
- 8 b. Non-collusion Affidavit - Attachment B.
- 9 c. Non-discrimination Clause - Attachment C.
- 10 d. Bid Bond or Bid Security – Attachment D.
- 11 e. Bidder Qualification Statement – Attachment E

12
13 **ACCEPTANCE OF ADDENDA:**
14

15 In submitting this proposal, I have received and included in this bid, the instructions and
16 information contained in the following Addenda:

<u>Addendum No.</u>	<u>Dated</u>
_____	_____
_____	_____
_____	_____
_____	_____

17
18
19
20
21
22
23
24
25
26
27
28
29 **SIGNATURES**

30 The Undersigned here certifies that this Proposal is genuine and not a sham, collusive or
31 fraudulent or made in the interest of or in behalf of any person, firm or corporation not herein
32 named; and that the Undersigned has not, directly or indirectly, induced or solicited any bidder to
33 submit a sham bid, or colluded in any way to prevent any other person, firm or corporation from
34 bidding, and that the Undersigned has not, in any manner, sought by collusion to secure for
35 himself any advantage over any other Bidder.

36
37
38 **Individual Bidder**

39
40 _____
41
42 (Printed Name and Signature of Individual Bidder)

43
44
45 _____ Seal

46
47
48 **WITNESS**

49
50 _____
51

52
53
54
55 Trading and doing business as
56
57 _____
58

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54

Business
Address: _____

** If a fictitious trade name is employed in the conduct of business, insert such name and complete appropriate, by deletion, the following sentence:

The foregoing fictitious trade name (has) (has not) been registered under Pennsylvania Law.

Partnership Bidder

(Name of Partnership)

_____ Seal Name and signature of Witness

_____ Seal
Print name of Partner Partner's Signature

_____ Seal
Print name of Partner Partner's Signature

_____ Seal
Print name of Partner Partner's Signature

_____ Seal
Print name of Partner Partner's Signature

Business Address:

** If a fictitious or trade name is employed in the conduct of business, insert such name and complete, as appropriate, by deletion, the following statement:

The foregoing fictitious or trade name (has) (has not) been registered under Pennsylvania law.

Complete, as appropriate, the following

statement: The Partners constituting the

Partnership are:

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

Corporate Bidder

*** _____ (Name of Corporation)

By: _____
(Vice) President's printed name and signature

ATTEST:

(Asst.) Secretary's printed name and signature

(Corporate Seal)

Business Address: _____

OR (If appropriate)

(Name of Corporation)

WITNESS:

***By: _____ Authorized Representative

Business Address: _____

*** Complete, as appropriate, the following statement:

The Corporation has been organized and is existing under the laws of the State / Commonwealth (strike one) of _____
(State)

*** Attach appropriate proof, dated as of the date of the Proposal, evidence authority to execute in behalf of the Corporation in accordance with requirements of the Contract Documents.

END OF BID FORM

1 SECTION 01 1200 - MULTIPLE CONTRACT SUMMARY

2 PART 1 - GENERAL

3 1.1 RELATED DOCUMENTS

- 4 A. Drawings and general provisions of the Contract, including General and Supplementary
5 Conditions and other Division 01 Specification Sections, apply to this Section.

6 1.2 SUMMARY

- 7 A. This Section includes a summary of each Contract, including responsibilities for coordination
8 and temporary facilities and controls.

- 9 B. Specific requirements of each Contract are also indicated in individual Specification Sections
10 and on Drawings.

- 11 C. Related Sections include the following:

- 12 1. Division 01 Section "Summary" for the Work covered by the Contract
13 Documents, restrictions on use of the premises, phasing, Owner-occupancy
14 requirements, and work restrictions.
15 2. Division 01 Section "Coordination" for general coordination requirements.
16 3. Division 01 Section "Temporary Facilities and Controls" for specific
17 requirements for temporary facilities and controls.

18 1.3 SAFETY - LEAD CONTRACTOR DESIGNATION

- 19 A. The lead Contractor will be responsible to inspect and maintain safe working conditions
20 on the jobsite. **General Construction Contractor shall act as and assume all responsibilities of**
21 **the Lead Contractor.**

- 22 B. Where the work of one (1) Contractor places another Contractor's workers in jeopardy,
23 the "Lead Contractor" shall direct and coordinate the effort of the Contractors to ensure
24 that jobsite safety is maintained.

- 25 C. The lead Contractor will maintain a "competent person" on site at all times designated
26 to make safety inspections and to serve as the designated representative in charge of safety
27 during inspection by OSHA employees.

- 28 D. The lead Contractor may direct another Contractor to make corrections in the event of a
29 safety violation. Failure of another Contractor to take prompt action (within 24 hours
30 following written notice) to correct a safety violation shall empower the lead Contractor to
31 make the necessary corrections and to receive full compensation for such corrections directly
32 from the Owner. The Construction Manager will verify and provide documentation of time

1 and material expended to make corrections. The Owner in turn will recover the amount of the
2 expense from the offending Contractor through deduct Change Order.

3 E. The lead Contractor’s responsibilities and corresponding authority shall be as defined in
4 the General Conditions of the Contract for Construction.

5 F. The individual Prime Contractors will maintain primary responsibility for the safety of their
6 workers. The “Lead Contractor” will serve to identify areas of concern and will endeavor
7 to accomplish required corrections through cooperation of other Prime Contractors. In the
8 event this effort is unsuccessful, the “Lead Contractor” will take action as defined above.

9 G. The Owner will support the decisions and action taken by the “Lead Contractor” to maintain
10 jobsite safety. The Owner will promptly make payment to the “Lead Contractor” when
11 corrective action has been taken on behalf of an offending Contractor and the “Lead
12 Contractor” has provided appropriate documentation.

13 H. Lead Safety Contractor shall provide regular and periodic safety inspections and reports by
14 an independent safety consultant. Inspections and reports shall be performed at least once
15 each month.

16 I. Each Contractor shall provide a safety representative who is trained in first aid and CPR.

17 1.4 COORDINATION

18 A. Project Coordinator shall be responsible for coordination between the General Construction
19 Contract, Plumbing Contract, Mechanical Contract, and Electrical Contract.

20 1. General Construction Contractor shall act as and assume all responsibilities of the Project
21 Coordinator.

22 B. Mechanical/Electrical Coordinator, who shall be subordinate to Project Coordinator, shall be
23 responsible for coordination between the Plumbing Contract, Mechanical Contract and
24 Electrical Contract, Fire Protection Contract, Fire Alarm Contract, ATC Controls Contract
25 (MC/PC/EC Contracts).

26 1. Mechanical Contractor shall act as and assume all responsibilities of the MC/PC/EC
27 Coordinator.

28 1.5 PROJECT COORDINATOR

29 A. Project Coordinator: Full-time Project Coordinator shall be experienced in administration and
30 supervision of building construction, including mechanical and electrical work.

31 1. Coordination activities of Project Coordinator include, but are not limited to, the
32 following:

- 33 a. Provide overall coordination of the Work.
- 34 b. Coordinate shared access to workspaces.

- 1 c. Coordinate product selections for compatibility.
- 2 d. Provide overall coordination of temporary facilities and controls.
- 3 e. Coordinate, schedule, and in conjunction with owner approve interruptions of
- 4 permanent and temporary utilities, including those necessary to make connections
- 5 for temporary services.
- 6 f. Coordinate construction and operations of the Work with work performed by each
- 7 prime Contractor and other entities on the site.
- 8 g. Prepare Coordination Drawings to coordinate work by more than one Contract.
- 9 h. Coordinate sequencing and scheduling of the Work. Include the following:
 - 10 1) Initial Coordination Meeting: Arrange and conduct a meeting with each
 - 11 Prime Contractor for sequencing and coordinating the Work; negotiate
 - 12 reasonable adjustments to schedules, refer to 011000 Summary for Work
 - 13 Milestones and Time of Completion. All primes and their subcontractors as
 - 14 required, must attend a weekly foremen's meeting. The Project Coordinator
 - 15 is to issues minutes for these meetings.
 - 16 2) Prepare a combined Contractor's Construction Schedule for entire Project.
 - 17 Base schedule on Work Milestones and Time of Completion. Secure time
 - 18 commitments for performing critical construction activities from separate
 - 19 Contractors. Show activities of each Contract on a separate sheet. Prepare a
 - 20 simplified summary sheet indicating combined construction activities of
 - 21 Contracts. The project coordinator is responsible for everything listed in spec
 - 22 section 013200 Construction progress documentation including providing the
 - 23 overall construction schedule as coordinated with all Prime Contractors,
 - 24 providing monthly schedule updates to the constructions schedule, and
 - 25 providing recovery schedules as needed amongst the other items required in
 - 26 013200. General Contractor to provide the Construction schedule to the
 - 27 Owner and Architect, refer to 011000 Summary for Work Milestones and
 - 28 Time of Completion.
 - 29 3) Distribute copies of schedules to Architect, Owner, and separate Contractors.
 - 30 4) Prepare & Maintain a Request for Information (RFI) Log per Division 01
 - 31 Section 013100 Paragraph 1.4
 - 32 5) Prepare & Maintain a Testing & Inspections Log per Division 01 Section
 - 33 014000 Paragraph 3.1
 - 34 i. Provide quality-assurance and quality-control services specified in Division 01
 - 35 Section "Quality Control Requirements."
 - 36 j. Provide project and conference meeting memos when required by Architect or
 - 37 Construction Manager and as specified in Division 01 Section "Project
 - 38 Management and Coordination".
 - 39 k. Schedule and conduct progress meetings as specified in Division 01 Section
 - 40 "Project Meetings."
 - 41 l. Schedule, conduct and record Coordination Meetings as specified in Division 01
 - 42 Section "Project Meetings."
 - 43 m. Coordinate the selection and installation of firestopping products with the separate
 - 44 prime Contractors.
 - 45 n. Coordinate sequence of activities to accommodate tests and inspections, and
 - 46 coordinate schedule of tests and inspections.
 - 47 o. Provide information necessary to adjust, move, or relocate existing utility
 - 48 structures affected by construction.

- 1 p. Locate existing permanent benchmarks, control points, and similar reference
2 points, and establish permanent benchmarks on Project site. The owner will give
3 an initial exterior benchmark to the Contractors which is shown on the Civil
4 Engineering plans. General Contractor to set all interior benchmarks required for
5 all Primes to use. All benchmarks are to be set by a certified/licensed surveyor.
- 6 q. Provide progress cleaning of work areas & building (including the entire exterior
7 of the building) and coordinate progress cleaning of areas or pieces of equipment
8 where more than one Contractor has worked.
- 9 r. Coordinate cutting and patching.
- 10 s. Coordinate protection of the Work.
- 11 t. Coordinate the installation of concealed blocking or reinforcement and supports for
12 work of all primes.
- 13 u. Coordinate provision of openings required by MC, PC, & EC Contractors with
14 concrete and masonry work.
- 15 v. Coordinate the sequence of work to the benefit of the project schedule.
- 16 w. Coordinate completion of interrelated punch list items.
- 17 x. Coordinate preparation of Project Record Documents if information from more
18 than one Contractor is to be integrated with information from other Contractors to
19 form one combined record.
- 20 y. Print and submit Record Drawings if installations by more than one Contractor are
21 indicated on the same Contract Drawing or Shop Drawing.
- 22 z. Collect Record Specification Sections from other Contractors, collate Sections into
23 numeric order, and submit complete set.
- 24 aa. Collect Record Product Data from other Contractors, collate product data by
25 section number into numeric order, and submit complete set.
- 26 bb. Coordinate preparation of operation and maintenance manuals if information from
27 more than one Contractor is to be integrated with information from other
28 Contractors to form one combined record.
- 29 2. Responsibilities of Project Coordinator for temporary facilities and controls include, but
30 are not limited to, the following:
 - 31 a. Provide space within its trailer for construction meetings to take place.
 - 32 b. Control and coordination of fire watch activities.
 - 33 c. Provide protection of existing finishes to remain.
 - 34 d. Coordinate installation, shared use and removal of temporary facilities.
 - 35 e. Provide temporary covers over window openings so interior fit out work can
36 continue until permanent windows are installed.
 - 37 f. Maintain stoned laydown area throughout the duration of the project.
- 38 B. M/P/E Coordinator: Full-time Mechanical/Plumbing/Electrical Coordinator shall be
39 experienced in coordination of mechanical, plumbing, and electrical construction (as well as all
40 other subcontracts including but not limited to Fire Protection, Fire Alarm, ATC Controls),
41 including coordination of type of operations required for this Project.
 - 42 1. Coordination activities of M/P/E Coordinator include, but are not limited to, the
43 following:
 - 44 a. Preparation of coordination drawings of ceiling cavities and mechanical rooms
45 demonstrating the spatial relationship and necessary clearances within the

- 1 available space above ceilings and within rooms for mechanical, plumbing and fire
- 2 protection, electrical power and lighting systems and structural systems. Comply
- 3 with the requirements for coordination drawings as specified in the Division 01
- 4 Section "Coordination."
- 5 b. Schedule and sequence mechanical, plumbing/FP and electrical activities.
- 6 c. Coordinate sharing access to workspaces by mechanical, plumbing/FP and
- 7 electrical Contractors.
- 8 d. Coordinate integration of mechanical, plumbing/FP and electrical work into
- 9 limited spaces.
- 10 e. Coordinate protection of mechanical, plumbing/FP and electrical Contractors'
- 11 work.
- 12 f. Coordinate cutting and patching for mechanical, plumbing/FP and electrical work.
- 13 g. Prepare mechanical, plumbing/FP and electrical Coordination Drawings.
- 14 h. Coordinate tests and inspections for mechanical, plumbing/FP and electrical work.
- 15 i. Coordinate mechanical, plumbing/FP and electrical temporary services and
- 16 facilities.

17 1.6 DESCRIPTION OF CONTRACTS

18 A. The work of this project shall be performed under four (4) Prime Contracts as defined in
19 this Section.

20 B. The following is a list of the Prime Contracts to be bid for this project:

- 21 *Contract 1..... General Construction*
- 22 *Contract 2..... Plumbing Construction and Fire Protection Construction*
- 23 *Contract 3..... HVAC. Construction*
- 24 *Contract 4..... Electrical Construction*

26 C. The General Conditions and Division 1 - General Requirements shall apply to all Prime
27 Contracts and Subcontracts for this Project. Each Prime Contract Package Description is to
28 include all Work in accordance with the Contract Documents, except Work covered by
29 other Prime Contract Package Descriptions. Collectively, these Prime Construction Contracts
30 include all materials, labor, supervision, transportation, tools, equipment and services for
31 the Project as shown or implied on the drawings and specified herein, or as may be required or
32 necessary for a complete and satisfactory job.

33 D. If there is a conflict on a specific item with regards to assignment of work to a specific
34 Contractor between the Contract Documents and the Prime Contract Package Description
35 as Stated herein, the Prime Contract Package Description will govern; however, if an item is
36 covered in the Contract Documents, but not reiterated in the Prime Contract Package
37 Description, the Bidder will be responsible for that item of work.

38 If an item is covered in two or more contract package descriptions, each Contractor shall
39 include the item at the time of bid. After Contract award, a credit will be solicited for work in
40 question.

41 E. Each Contractor shall supervise his Work, using his best skills and attention. He shall be
42 solely responsible for construction means, methods, techniques, sequences, dimensions and

- 1 procedures and/or coordinating all portions of their Work, with all Work to be performed
2 under separate contracts and/or other Bid Packages. Refer to the General Conditions Article
3 6 on work by Separate Contractors or by Owner.
- 4 F. All items of work listed under the Prime Contract Package Descriptions shall be provided by
5 the Prime Contractor unless specifically noted as furnished or installed only.
- 6 G. All Prime Contractors shall maintain site conduct in accordance with the rules and
7 procedures specified under the General Conditions.
- 8 H. All Prime Contractors shall maintain, contribute to and coordinate the schedule as required
9 in the Construction Progress Documentation Specification Section 01 32 00.
- 10 I. If Asbestos is found on site beyond those materials identified for remediation, the abatement
11 will be handled by the General Contractor using their unit costs or as negotiated with the
12 Owner. If this occurs, asbestos abatement work may be occurring concurrently with
13 construction activities in all areas. Contractors are to expect asbestos abatement activity as part
14 of scheduled work.
- 15 If a Contractor encounters materials suspected to contain asbestos that Contractor should
16 immediately bring this discovery to the attention of the Construction Manager.
- 17 J. Contract Documents include all drawings, specifications, contract descriptions, etc. for the
18 work of the Project. Each Prime Contractor shall review all Documents in their entirety.
- 19 K. The Owner shall pay all utility tap-in fees for the permanent structure. All other fees,
20 including utility connection fees for temporary facilities and all other permits are the
21 responsibility of the appropriate Prime Contractors. The Building Permit Fee and the
22 Township's Contractor Registration Fee are waived for this project. The Owner will provide
23 builder's risk insurance.
- 24 L. The Installing Prime Contractors will provide testing services for all work as indicated
25 in the technical specifications and in Quality Control Requirements Section 01 40 00
26 unless testing services are specifically noted as being provided by the Owner.
- 27 M. Each Prime Contractor shall be responsible to return all laydown, storage and work areas to
28 their original condition except areas designated on the site utilization plan, which shall be the
29 responsibility of the General Contractor. Confirmation of completion of this requirement shall
30 be necessary prior to release of final payment.
- 31 N. Definitions:
- 32 Coordinate: The term "coordinate" means "to cooperate with related trades to furnish and
33 install all connections between the trades in correct sequence size and location to create a
34 complete system ready for intended use."
- 35 Verify: The term "verify" means "to measure, investigate, review, test, check the
36 accuracy or correctness of and prove by demonstration, evidence, or testimony the location,
37 size, dimension and condition of an item."

1 Furnish: The term "furnish" is used to mean "supply and deliver to the project site, ready for
2 unloading, unpacking, assembly, installation and similar operations."

3 Install: The term "install" is used to describe operations at the project site including the
4 actual "unloading, unpacking, assembly, erection, placing, anchoring, applying, working to
5 dimension, finishing, curing, performing, coordinating with other trades, protecting, cleaning,
6 and similar activities".

7 Provide: The term "provide" means "to furnish and install, complete and ready for the
8 intended use."

9 Permanent Enclosure: As determined by Architect, permanent or temporary roofing is
10 complete, insulated, and weathertight; exterior walls are insulated and weathertight; and all
11 openings are closed with permanent construction or substantial temporary closures.

12 O. Multiple trips to the site will be required to complete this project.

13 P. The following items are to be included in each Prime Contractor's Scope of Work:

- 14 1. Coordinate all work with other Prime Contractors.
- 15 2. Coordinate work with Asbestos Abatement Contractor if on site during construction.
- 16 3. Submit shop drawings, samples, schedules, data, manuals, as-built drawings, etc.,
17 required by the Contract Documents. Update, on a weekly basis, a record set of
18 drawings to be maintained in the General Contractor's field office and made
19 available for view at any time. A final set of drawings of this Contractor's work shall
20 be submitted to the Construction Manager upon the completion of the work.
- 21 4. Observe and comply with at all times all Federal and State laws and regulations,
22 and Local bylaws, ordinances and regulations in any manner affecting the conduct of
23 the work or applying to employees on the project, as well as all safety precautions and
24 orders or decrees which have been promulgated or enacted, or which may be
25 promulgated or enacted, by legal bodies or tribunals having authority or jurisdiction
26 over the work, materials, equipment, employees, such observance and compliance shall
27 be solely and without qualification the responsibility of this Trades Contractor
28 without reliance on superintendence or direction by the Owner or their Representative.
29 The duty of enforcement of all of said laws, ordinances, regulations, orders or
30 decrees lies with the body of agency promulgating them, not with the Owner or their
31 Representatives.
- 32 5. Perform all work in accordance with the project schedule as described in section 01 32
33 00.
- 34 6. Provide protection of existing roofing system, equipment, structure, finishes and
35 landscaping from damage resulting from the work of this contract. Repair any
36 damage promptly to the satisfaction of the Owner.
- 37 7. The General Contractor shall provide all engineering and layout for his work. In
38 addition, the General Contractor shall provide and maintain throughout the project
39 all building corners and column centerlines. The General Contractor shall provide
40 floor control lines for each floor consisting of at least two perpendicular control
41 lines per area and finish floor elevations. The General Contractor will provide layout
42 for all walls and partitions. Each Trade Contractor shall be responsible for all other
43 survey, engineering, layout, etc. required to execute their work. Each Trades
44 Contractor, at his own expense is to provide all stakes, templates and labor required in

- 1 laying out their work and is responsible for proper execution of the work to the lines
2 and grades shown on the drawings or as indicated by the Architect/Engineer.
- 3 8. Provide all dewatering required to perform the work of their contract.
- 4 9. Provide all scaffolding, hoisting, shoring, barricades, ramps, etc., as necessary to
5 perform the work of this contract.
- 6 10. Provide safety and protection of persons and property per OSHA, Local and State
7 requirements. Provide maintenance of all safety precautions throughout the work of
8 this Contract. Each Contractor is to return the safety cables to an OSHA approved
9 condition without slack. Provide protection at floor and roof penetrations not shown
10 on the drawings but required for work of this Contract. Provide all safety signage
11 required by OSHA for the work of this Contract. Furnish Company Safety Plan,
12 Hazard Communication Plan, MSDS information and other OSHA required
13 documents to the "Lead Contractor" prior to the start of work.
- 14 11. All contractor's personal working on or visiting the project site while construction
15 activities are underway are required to wear safety glasses and hard hats at all times.
16 Appropriate work shoes and clothing should be worn by all construction personal. The
17 wearing of shorts or sleeveless shirts is not permitted. Clothing with offensive or
18 politically incorrect wording / illustrations is not permitted.
- 19 12. Promptly address the recommendations made by the "Lead Contractor" for jobsite
20 safety.
- 21 13. If the applicable Contract Documents, laws, ordinances, rules, regulations or orders of
22 any public authority having jurisdiction require any work to specifically be tested,
23 inspected, or approved by someone other than this Trades Contractor, the Contractor
24 will give the Owner and their Representative timely notice of readiness. The
25 Contractor will then furnish the Owner the required certificates of inspection, testing
26 or approval.
- 27 14. Inspection, tests, or approvals by the Owner or their Representative shall not relieve
28 this Trades Contractor from his obligation to perform the work in accordance with the
29 requirements of the Contract Documents.
- 30 15. Provide all fees, Federal, State and Local taxes, special permits, inspections, etc. as
31 required to perform the work of this Contract unless item is specifically identified as
32 being provided by the Owner.
- 33 16. All submittals, shop drawings and product samples must be received no later than
34 the Summary of Work Milestones and time of completion.
35 Those submittals for critical schedule activities must be submitted and approved in
36 time to make required deliveries. Contractors are responsible to make material deliveries
37 to accomplish phase completions.
- 38 17. No guns, illegal drugs, tobacco products or alcoholic beverages will be allowed on
39 this project. The Township may require any individual employed on engaged in the
40 project, either directly or indirectly, to submit to drug, and/or alcohol testing, on the
41 basis of reasonable suspicion or if an individual has been involved in an accident.
42 Random drug and/or alcohol testing is strongly encouraged. All testing shall be
43 paid by the Prime Contractors. Any individual who refuses to cooperate with or submit
44 for testing or who test positive for alcohol or drugs shall be excluded from the job site
45 at the direction of the Township.
- 46 18. The Owner and their Representatives will at all times have access to the work. In
47 addition, authorized representatives and agents of any participating State, County or
48 Local Municipal representative shall be permitted to inspect all work, materials, and
49 other relevant data and records. This Trades Contractor will provide proper facilities for
50 such access and observation of the work and also for any inspection or testing thereof.

- 1 19. Verify existing conditions prior to start of work and notify Construction Manager
2 of any discrepancies.
- 3 20. The General Contractor shall provide for all temporary enclosures of building openings
4 as required to maintain the schedule of the project. Should any Contractor have
5 materials that are delayed on the project, which in turn delays the work of other
6 Contractors, that Contractor shall be required to provide and/or maintain the temporary
7 enclosures required to enclose the missing portions of that Contractor's Work.
- 8 21. Each Contractor shall provide holes in structural steel as required for the installation
9 of their work with the approval of the Architect and Engineer. The structural
10 reinforcing must be in accordance with the requirements of Structural Steel
11 specification section.
- 12 22. Each Contractor shall provide sealants in accordance with Joint Sealant specification
13 section 07 92 00 in any and all conditions where materials installed by the Contractor
14 abut dissimilar materials (vertical and horizontal joints). Each Contractor is also
15 responsible for sealing penetrations required for the scope of that trade.
- 16 23. All Contractors are responsible to clean their construction vehicle's wheels with the
17 intent of keeping all mud off paved surfaces.
- 18 24. Each Prime Contractor is responsible for general clean-up and trash removal resulting
19 from the work or employees of that contract. The General Contractor shall provide
20 construction dumpster(s) as required for the purpose of trash removal for all Prime
21 Contractors. Removal of demolition debris from site will be by the Contractor
22 performing the demolition. Hazardous materials shall not be placed in the dumpster,
23 but should be removed from site by Prime Contractor responsible for material. The
24 General Contractor will also periodically organize a project clean up by all Contractors.
25 Those Contractors on site shall provide labor to assist in this cleanup on a weekly
26 basis. The General Contractor shall also provide a laborer a minimum of 16 hours a
27 week to broom sweep the project's interior floor areas with approved sweeping
28 compound to control dust through the duration of the project. General Contractor
29 shall provide a separate line item on the schedule of values for this laborer to
30 broom sweep these areas. Each Prime Contractor shall provide a line item on their
31 initial schedule of values for ongoing project clean-up activities.
- 32 25. All Contractors are responsible to provide dust, toxic fume and noise control for their
33 own work.
- 34 26. Cutting and Patching:
 - 35 a. Exposed finished materials, structural elements, watertight assemblies, HVAC,
36 plumbing, and electrical equipment and systems.
 - 37 1) Newly Installed Materials: A Contractor, requiring the cutting of openings
38 in new work shall have such openings cut and patched by the trade which
39 installed the work and such cutting and patching shall be at the expense of
40 the Contractor, requiring the opening, unless specified otherwise.
 - 41 2) Existing Materials: A Contractor requiring the cutting of openings in
42 existing materials shall have such openings cut and patched by a
43 Contractor specializing in that trade and the cost shall be at the expense of
44 the Contractor requiring the opening.
 - 45 3) Approval to do such cutting and patching shall be received from the
46 architect prior to proceeding with the work and shall include installation of
47 such reinforcement of the work as the Architect may Direct.
 - 48 b. Other locations: Cutting and sealing of penetrations in other locations including
49 firestopping shall be by the Contractor requiring the cutting of such openings.

- 1 c. All blocking, bracing, reinforcement or structural enhancement required due to
2 cutting and patching shall be provided at no additional cost to the Owner. All
3 patching work shall match adjacent existing work unless otherwise noted.
- 4 27. Provide firesafing and firestopping at all locations that are required to maintain a
5 fire rating at floor and wall penetrations as a result of work of each prime contract.
6 All new and/or existing penetrations at walls or ceilings related to a prime
7 Contractor's scope of work shall be firestopped by that Contractor as per the
8 specifications.
- 9 28. Provide Steel and Aluminum product certifications as required under the Steel
10 Products Procurement and Trade Practice Acts otherwise known collectively as the
11 "Buy American" requirements of all Public Works Construction Contracts funded in
12 part by the State of Pennsylvania.
- 13 29. General Contractor will be responsible for the cost of up to and including two Labor
14 and Industry elevator inspections. Any cost associated with additional inspections
15 beyond the second inspection will be equally distributed to the parties that were
16 responsible for the previous failure.
- 17 30. **Coordination Drawings:** Coordination drawings among the HVAC, Plumbing, Fire
18 Protection, Electrical and Ceiling Contractors are required with the lead role assigned
19 to the HVAC Contractor. The HVAC Contractor shall prepare ¼" scale CADD
20 drawings with ductwork & piping layout for review by the other Trade Contractors. The
21 other Trade Contractors shall then prepare and provide CADD additions/modifications
22 representing their work to the HVAC Contractor, who will then prepare final layout
23 and coordination drawings illustrating work by all Trades on one set of coordination
24 drawings for the project as a part of his Contract price. The HVAC Contractor shall
25 conduct coordination meetings with all Trade Contractors to discuss and resolve
26 interference problems. Once each Trade Contractor has initialed with approval the
27 coordination drawings, the HVAC Contractor shall submit the coordination drawings to
28 the Construction Manager for review. The other Trade Contractors should finalize
29 their shop drawings in accordance with the coordination drawings and submit to the
30 Construction Manager.
- 31 31. **Schedule:** The HVAC Contractor shall prepare and distribute ductwork & piping
32 drawings within 25 days after start of construction. The other Trade Contractors
33 shall then prepare and distribute to the HVAC Contractor their CADD input within 15
34 days. Final coordination drawings to be completed and distributed by the HVAC
35 Contractor for the first phase of construction within 55 days after start of construction.
- 36 32. Visit site prior to submitting bid and thoroughly examine the site for existing conditions
37 that may need to be modified or demolished in order to provide the work of this
38 contract. Each Prime Contractor is to include the cost of those modifications or
39 demolition cost within their base bid proposal. No claim for additional work will be
40 permitted for modifications to existing conditions or demolition of existing items that
41 are required to install new work of this contract that are apparent and should have been
42 discovered during the prebid walkthrough.
- 43 33. All Prime Contractors shall provide unit prices and quantity allowances as identified
44 with in the specifications. See section 01 27 50 and this section.

- 1 1.7 GENERAL REQUIREMENTS OF CONTRACTS
- 2 A. Extent of Contract: Unless the Agreement contains a more specific description of the Work,
3 names and terminology on Drawings and in Specification Sections determine which Contract
4 includes a specific element of Project.
- 5 1. To the extent that the work of all of the Contracts represents a complete and integrated
6 whole, each prime Contractor shall become thoroughly familiar with all of the
7 construction documents. Work of a particular Contract shall be substantially located on
8 the documents referenced below, but such references do not relieve each Contractor for
9 responsibility to provide work in compliance with requirements of all of the documents
10 as follows:
- 11 a. Information contained on any construction document shall be enforceable on each
12 Contractor as indicated on drawings, by reference to Contractor designations (GC,
13 PC, MC, and EC).
- 14 b. Dimensional information on the Architectural drawings that relates to the work of
15 a particular Contract shall be the responsibility of that Contractor to install the item
16 where located.
- 17 1) In the absence of specific dimensional information on the Architectural plans
18 for exposed items provided by the Mechanical, Plumbing, Electrical and Site
19 work Contracts, consult Architect for decisional requirements before
20 installing exposed item.
- 21 c. In case of conflicts, assignment of responsibilities shall be at the interpretation of
22 the Architect or Owner Representative.
- 23 2. Unless otherwise indicated, the Work described in this Section for each Contract shall be
24 complete systems and assemblies, including products, components, accessories, and
25 installation required by the Contract Documents.
- 26 3. Local custom and trade-union jurisdictional settlements do not control the scope of the
27 Work of each Contract. When a potential jurisdictional dispute or similar interruption of
28 work is first identified or threatened, affected Contractors shall negotiate a reasonable
29 settlement as labor disputes cannot interrupt or delay the project.
- 30 4. Excavation and Trenches for the Work of each Contract shall be provided by each
31 Contract for its own Work except as noted otherwise. Comply with Division 31 Section
32 "Earth Moving" and all trench details on the contract documents for excavation and
33 trenches.
- 34 5. Concrete for the Work shall be provided by each Contract for its own Work, except as
35 noted otherwise. Comply with Division 03 Section "Cast-in-Place Concrete" for
36 requirements.
- 37 6. Cutting and Patching: Provided by each Contract for its own Work, unless otherwise
38 noted. Comply with Division 01 Specifications for this work.
- 39 d. Contractor performing an operation out of sequence and thereby forcing another
40 Contractor unexpectedly cut and patch construction already in place shall be held
41 responsible for the cutting and patching the second Contractor is forced to do.

- 1 7. Support work as specified in Division 05 Section "Metal Fabrications" to connect work
2 of each Contract to the structural system shall be provided by each Contract for its own
3 work.
- 4 e. Support work shall include reinforcements welded within steel joists, as indicated
5 on the structural drawings, for point loads on steel joists.
- 6 8. Through-penetration firestopping and fireblocking for the Work of each Contract shall be
7 provided by each Contract for its own Work using products from the manufacturer as
8 selected by the Project Coordinator. Comply with the Division 07 requirements for
9 firestopping and fireblocking.
- 10 9. Protection for the work of each Contractor shall be provided by each Contract for its own
11 work. Comply with Division 01 Section "Temporary Facilities and Utilities" and
12 individual specification sections for protection requirements.
- 13 10. Concealed sealants for the Work of each Contract shall be provided by each Contract for
14 its own work. Comply with Division 07 Section "Joint Sealants" for requirements.
- 15 11. Access doors and frames or panels for permanent access to work of each Contract shall
16 be furnished by each Contract for its own work. Installation of the access panel shall be
17 by the General Contractor.
- 18 12. Refer to general conditions for scheduling requirements.
- 19 13. Project closeout requirements.
- 20 B. Substitutions: Each Contractor shall cooperate with other Contractors involved to coordinate
21 approved substitutions with remainder of the Work.
- 22 1. Project Coordinator shall coordinate substitutions.
- 23 C. Temporary Facilities and Controls: In addition to specific responsibilities for temporary
24 facilities and controls indicated in this Section and in Division 01 Section "Temporary Facilities
25 and Utilities," each Contractor is responsible for the following:
- 26 1. Installation, operation, maintenance, and removal of each temporary facility usually
27 considered as its own normal construction activity, and costs associated with each
28 facility.
- 29 2. Plug-in electric power cords and extension cords, supplementary plug-in task lighting,
30 and special lighting necessary exclusively for its own activities.
- 31 3. Generators for powering welders
- 32 4. Generators for equipment requiring three phase power. This shall also include temporary
33 power for 3-phase permanent equipment that must be tested before connection to and /or
34 availability of permanent power supply.
- 35 5. Each Contractor must provide a portable generator for welding operations. Welding may
36 not be connected to temporary or permanent power service.
- 37 6. Its own field office, complete with necessary furniture, utilities, and telephone service via
38 wireless provider. MC/PC/EC all are allowed only one large trailer on site (20-25ft C
39 box) or two small trailers. No on-site storage trailer are allowed except in the window of
40 time described in the specifications.
- 41 7. Its own storage and fabrication sheds.
- 42 8. Temporary enclosures for its own construction activities.

- 1 9. All hoisting facilities for its own construction activities. Contractor may provide its own
2 hoisting facilities or may arrange with the General Contractor by separate agreement to
3 provide hoisting facilities.
- 4 10. General Contractor is to provide dumpsters for all Primes Contractors. Each Prime
5 Contractor is responsible to clean their waste daily and bring it to the dumpster supplied
6 by the General Contractor. The Owner will notify each Prime Contractor if they are not
7 cleaning daily. After one written warning, with 24 hours' notice, the Owner can have the
8 Contractors debris cleaned up at the Contractor's expense. Trash left on the jobsite will
9 not be tolerated.
- 10 11. Include collection and legal disposal of its own hazardous, dangerous, unsanitary, or
11 other harmful waste materials.
- 12 12. Installation and maintenance of all temporary stone roads and laydown areas.
- 13 13. Progress cleaning of its own areas on a daily basis.
- 14 14. Secure lockup of its own tools, materials, and equipment.
- 15 15. Construction aids and miscellaneous services and facilities necessary exclusively for its
16 own construction activities.
- 17 16. Protection of its own work including finishes.
- 18 D. Temporary Electric Power Service, Heating, Cooling, and Ventilation: The Electrical
19 Construction Contract is responsible for temporary electric power service, including temporary
20 connection from the existing switchgear to project offices located in the staging area, to existing
21 building and the new building. The General Construction Contract is responsible for temporary
22 heating, cooling, and ventilation, including temporary connections, until new unit is fully
23 operational. The building HVAC systems (whether existing or new) shall not be operated for
24 the purpose of temporary heating, cooling, or ventilation, **unless authorized by Owner.**
- 25 E. Temporary Distribution and Lighting: Electrical Contractor is responsible for temporary
26 distribution and lighting systems.
- 27 F. Temporary Water Service: Owner's water is available for use by each Contractor. The
28 Plumbing Contractor shall provide a hose bib inside of Mechanical room in the Lower Level
29 and at exterior adjacent to parking lot. Plumbing Contractor to maintain water to these two
30 sources throughout the entire project
- 31 G. Temporary Sanitary Facilities:
32 1. General Construction Contractor is responsible for sanitary facilities, including toilets,
33 and wash facilities, including use, rental, and maintenance charges for all work area
34 under his responsibility. All Contractors shall be responsible for their own drinking
35 water.
- 36 H. Use Charges: Owner will pay for utilities.
- 37 I. Temporary Power Generators: All contractors to provide temporary power generators as needed
38 until temporary power is available on site.

1 1.8 GENERAL CONSTRUCTION CONTRACT

2 A. Work in the General Construction Contract includes all labor, materials, equipment, and
3 services necessary for the architectural, civil and structural construction plus other activities
4 traditionally recognized as general construction. Work shall be defined in the Civil (C-Series), ,
5 Architectural (A and G -Series), and Structural (S-Series) drawings, and in the General
6 Conditions and Specification Divisions 01 through 14, and 31 through 33 of the specifications
7 and all referenced specifications that apply. Work includes Project Coordination and related
8 administration responsibilities, including a full-time site superintendent who will be performing
9 a supervisory role only and not be assigned any construction or labor tasks. Work of this
10 Contract includes, but is not limited to, the following (see also responsibility matrix at the end
11 of this section):

- 12 1. Site preparation, including clearing, and earthwork.
- 13 2. Site utility work including plumbing and mechanical, excluding site electric
14 and site lighting.
- 15 3. Site improvements including: All asphalt paving, concrete curbing, concrete
16 walkways, site development, site walls, fencing, and coordination of
17 installation of vehicle monitoring systems by Electrical Contractor.
- 18 4. Sediment and erosion control including assumption of Erosion and
19 Sedimentation Pollution Control permit and responsibilities thereof as co-
20 permittee.
- 21 5. Poured concrete retaining walls and site segmental retaining walls.
- 22 6. Site storm water management system including roof drainage conductors,
23 related earthwork and appurtenances starting from a point five feet beyond
24 building.
- 25 7. Removal of underground oil storage tank and associated soils in direct
26 coordination with Owner's Environmental Engineer who test adjacent soil
27 samples and will remove residual oil from tank and certify tank clean prior to
28 removal. Dispose of tank and soils lawfully as directed by Owner's
29 Environmental Engineer
- 30 8. Selective demolition in existing building and existing site demolition
31 including site utilities and site structures.
 - 32 a. Removal of asbestos-containing materials and decommissioning of
33 existing elevator as per the abatement plans and specifications.
 - 34 b. Selective Demolition of existing Haverford Township Free Library as
35 per the demolition plans.
 - 36 c. Demolition of the existing sitework includes, but is not limited to, the
37 parking lot paving, curbs, sidewalks, fencing, site lights and foundations,
38 walls, etc. as shown to complete the new scope of work.
- 39 9. Site stairs and railings.
- 40 10. Water meter pit for fire service.
- 41 11. Floor slab underlayment and repair of demolition damage.
- 42 12. Foundations, including footings and foundation walls.
- 43 13. Slabs-on-grade, including earthwork, sub drainage systems, and insulation.
- 44 14. Below-grade building construction, including excavation, backfill, and
45 thermal and moisture protection, and foundation and under-slab drainage.
- 46 15. Line stripping, landscaping and bicycle rack.

- 1 16. Provide field surveys of as-built site improvement work in accordance with
- 2 township requirements. Provide certification that work is located in
- 3 accordance with the drawings. Confirm the building steel structure upon
- 4 completion is plumb and level via a licensed surveyor.
- 5 17. Superstructure, including floor and roof construction.
- 6 18. Exterior closure, including walls, parapets, doors, windows, entrance and
- 7 storefront systems and curtain wall systems.
- 8 19. Masonry restoration.
- 9 20. Sound barrier walls.
- 10 21. Roofing, including coverings, flashings and roof specialties. Coordinate and
- 11 install roof drains provided by PC including required steel reinforcing.,
- 12 coordinate with the Plumbing Contractor to connect. General contractor is
- 13 responsible for all roofing penetrations in direct coordination with all Primes
- 14 including vents through roof, roof drains, pipe, conduit and duct penetrations
- 15 and curbs.
- 16 22. Exposed sealants.
- 17 23. Partition fire-resistive joint systems.
- 18 24. Fireblocking/firestopping for openings not related to work of other
- 19 Contracts.
- 20 25. Interior construction, including partitions, doors, interior glazed openings,
- 21 and fittings.
- 22 26. Furnishings, including casework and window treatments.
- 23 27. Fire doors.
- 24 28. Fire-protection specialties.
- 25 29. Stairs, including railings and finishes.
- 26 30. Conveying systems, including elevator.
- 27 31. Interior finishes, finish carpentry, built-in casework, and architectural
- 28 woodwork.
- 29 32. Gas-fired fireplace and associated surrounding finishes. Gas connection by
- 30 Plumbing Contractor
- 31 33. Interior and exterior signage.
- 32 34. Miscellaneous items, including painting of any exposed structural,
- 33 mechanical, plumbing, and electrical work.
- 34 35. Equipment including acoustical sound barrier wall systems.
- 35 36. Obtain all final sign offs by authorities having jurisdiction including
- 36 obtaining final Certificate of Occupancy.
- 37 37. Remove, abandon, fill existing piping no longer in use including storm water
- 38 and sanitary piping.
- 39 34. G.C. to install all access panels required and provided by other Contractors.
- 40 See 012750 Unit Prices and Quantity Allowances for the quantity of access
- 41 panels to be installed.
- 42 38. Provide final cleaning of the building on all of the interior and exterior
- 43 facades.
- 44 39. Work must be complete, operational and tested to meet the requirements of
- 45 state and local codes.
- 46 37. Installation of Owner Furnished Items as noted in 01 1000 Summary, 1.9
- 47 Owner Furnished Contractor Installed (OFCI).

1 38. Installation of roof curbs provided by HVAC contractor. G.C. to supply and
2 install all wood blocking for all roof top equipment curbs including but not
3 limited to RTU's, exhaust fans, etc. Application includes existing roofs and
4 roof of the new addition.
5

6 39. G.C. to install all sleeves provided by the Contractors in any walls, floors or
7 roof structures. If Contractors do not provide sleeves in a timely manner per
8 the scheduled activities, each Contractor will be responsible to neatly
9 cut/core and make their own penetrations as well as patch as required to
10 make installation complete.
11

12 40. G.C. to coordinate a loading location for all Contractors to use. Location may
13 be a removed door or window opening. Location must be coordinated and
14 agreed to by all Contractors by **January 12, 2024**.
15

16 41. G.C. is responsible, on behalf of the Owner, for providing the physical markings
17 of all existing utilities including those on site as indicated on the drawings or
18 that may be identified in the field. The locations shown on the drawings are ap-
19 proximate. The General Contractor must include in his proposal the cost for
20 hand-dug test holes, or other means, to ascertain the precise position of such
21 underground facilities on the site owned by the Owner. This verification should
22 be performed for any utilities to be relocated, removed, modified or that may
23 otherwise interfere with planned work. The utilities in the public right of way
24 will be identified and marked by the appropriate facility owner as per the re-
25 quirements of the PA One Call Act as amended. Physical layout is to be per-
26 formed in full compliance with the PA One Call PA Act 287 of 1974 as amend-
27 ed by Act 18 of 1996.
28

29 42. G.C. to including digging 6 test pits to locate existing utilities to remain or be
30 relocated as directed by the Owner. Pits shall be 5ft deep, 5ft long, and large
31 enough for a laborer to safely enter the pit and hand dig/locate the pipe.
32

33 43. **At openings with dimensions smaller than 10" that are provided by other**
34 **Prime Contractors, install support steel provided by those same other Prime**
35 **Contractors.**
36

37 B. Temporary facilities and controls in the General Construction Contract include, but are not
38 limited to, the following:

- 39 1. Temporary facilities and controls including those in Division 01 Section
40 015000 that are not otherwise specifically assigned to the Plumbing
41 Contract, Mechanical Contract, and Electrical Contract.
42 2. Temporary roads, paved areas, staging, and stoned areas.
43 3. Unpiped sewers and drainage, including drainage ditches, dry wells,
44 stabilization ponds, and containers.

- 1 4. Storm water control. Including temporary plastic roof drains to grade toward
- 2 the construction lay down area, to be installed once the roof is installed until
- 3 the permanent drains are installed.
- 4 5. Unpiped temporary toilet fixtures, wash facilities, and drinking water
- 5 facilities, including disposable supplies.
- 6 6. Temporary enclosure for building exterior.
- 7 7. Temporary openings for material loading.
- 8 8. Temporary interior partitions.
- 9 9. Temporary Heating, Cooling, and Ventilation including temporary
- 10 connections until MC provides permanent Heating, Cooling, and Ventilation.
- 11 10. Temporary roads and paved areas.
- 12 11. Dewatering facilities and drains.
- 13 12. Excavation support and protection, unless required solely for the Work of
- 14 another Contract.
- 15 13. All hoisting requirements for its own construction activities and, where
- 16 arranged by separate agreement, hoisting requirements for other prime
- 17 Contractors.
- 18 14. Project identification and temporary signs.
- 19 15. Dumpsters for general waste disposal facilities for general cleaning of
- 20 building and site.
- 21 16. Disposal of all hazardous materials shall be done in accordance with Federal,
- 22 State, County, and Local requirements. No hazardous materials shall be
- 23 placed in the Owner's or other parties waste containers or dumpsters.
- 24 17. Maintenance of site shall include maintaining of vegetation within limits of
- 25 construction. Inclusive of weed-whacking the site once per month.
- 26 18. Pest control.
- 27 19. Temporary fire-protection equipment.
- 28 20. Barricades, warning signs, and lights.
- 29 21. Covered walkways if required for safe egress
- 30 22. Security enclosure and lockup.
- 31 23. Environmental protection.
- 32 24. Restoration of Owner's existing facilities used as temporary facilities.
- 33 25. Temporary fencing and gates.
- 34 26. Temporary services to existing building including gas, water, electric,
- 35 sanitary, and storm.
- 36 27. Temporary protection of finished surfaces including temporary protection of
- 37 exposed waterproofing.
- 38 28. The prime contractor is to provide the necessary temporary controls and heat
- 39 as required to perform work in the fall/winter/spring season. Work cannot
- 40 stop or be delayed due to cold temperatures. As part of the base bid, the
- 41 prime contractor must include all means and methods so work can continue
- 42 through the winter months. This is inclusive of but not limited to:
- 43 a. Work cannot stop or be delayed due to cold temperatures.
- 44 b. All temporary measures including temporary heat temporary enclosures
- 45 to contain the heat, covering the ground with blankets to prevent frost,
- 46 digging out frost so foundations and all underground utility work can
- 47 continue.
- 48 c. Following cold weather procedures for masonry and concrete installation
- 49 per the specifications.

- 1 d. Maintaining frost/frozen free backfill to continue trench work (protect
2 stockpiles of backfill materials), removing snow and ice, etc. shall be
3 done to maintain the project schedule.
4 29. GC shall soft dig and hand dig as required around the existing building to
5 locate the underground utilities prior to the installation of any shoring or new
6 construction.
7 30. GC to protect the existing and new roof during renovations and new
8 construction. Protection should include installing plywood under all
9 scaffolding, gang boxes, and pathway to edge of the roof where materials
10 will be delivered.

11
12 1.8 PLUMBING CONTRACT

13 A. Work in the Plumbing Contract shall include all labor, material, equipment and services necessary
14 for the complete construction of Plumbing/Fire Protection (P-Series), drainage, drawings and
15 described in the General Conditions and Specification Divisions 01, 02, 21, and 22, and all referenced
16 specifications that apply. The Plumbing Contract includes, but is not limited to, the following (see also
17 responsibility matrix at the end of this section):

- 18 31. Selective Demolition of existing Haverford Township Free Library as per
19 the demolition plans.
20 32. Any ceiling tiles to be removed for access are the responsibility of this
21 contractor. Ceiling tiles shall be removed and stored properly for
22 replacement upon completion of the work. Any damaged ceiling grid or
23 ceiling tiles due to the work will be replaced by this contractor at their
24 expense. Contract must protect all existing finishes to remain including
25 covering counters, flooring, etc. so as not to damage them. If casework parts
26 such as doors and drawers need to be removed to complete this scope of
27 work, contractor shall remove them, properly store them, and reinstall them
28 upon completion of the work.
29 33. Sanitary drainage from new plumbing fixtures connected to existing interior
30 system.
31 34. Domestic water distribution connected to existing interior system.
32 35. Fire-suppression system distribution. Provide riser and components with
33 distribution piping to all new sprinkler heads throughout the building. Fire-
34 suppression system is engineered by PC, signed and sealed.
35 36. Dry pipe fire sprinkler system and heads under the new addition as well as
36 all necessary compressors and dry pipe valves and appurtenances.
37 37. Storm water system to 5 ft outside the building for General Contractor to
38 connect. Include connection to downspouts within building.
39 38. Gas piping to be installed as part of the Plumbing Contract including work in
40 Alternates.
41 39. Provide roof drains (primary and secondary) to General Contractor for
42 installation. Connect roof drains to storm water system, coordinate with
43 General Contractor.
44 40. Plumbing connections to equipment furnished by the General Construction
45 Contract, Mechanical Contract, and Electrical Contract.
46 41. Concrete equipment bases (pads) required by Plumbing work.

- 1 42. Hoisting required for contract work.
- 2 43. Provide Operation and Maintenance instruction manuals and specified
- 3 training to the Owner including video taping of sessions.
- 4 44. Provide layout for the General Contractor indicating all openings in the new
- 5 floor and roof decks that have dimensions larger than 10". Openings with
- 6 dimensions smaller than 10" shall be provided by the Plumbing Contractor,
- 7 who shall also provide support steel at these openings as required for
- 8 installation by the General Contractor. All other framing, lintels,
- 9 miscellaneous supports, etc., required but not specifically shown on the
- 10 Drawings shall be by this Contractor. Plumbing Contractor should refer to
- 11 the structural plans for lintel sizes.
- 12 45. Provide protection of structure, finishes, and landscaping from damage
- 13 resulting from the Work of the Contract. Repair any damage promptly to the
- 14 satisfaction of the Owner.
- 15 46. Provide painting for "touch up" required to restore "factory finished"
- 16 equipment and material to its original condition.
- 17 47. Provide any miscellaneous structural framing and decking as required to
- 18 ensure a complete installation of items that are a part of this Contract.
- 19 48. Provide all plumbing Work including sanitary sewer and vent piping,
- 20 domestic water piping and equipment, pipe insulation, water heater, roof and
- 21 floor drains, plumbing fixtures, trim accessories, supports, anchorage, etc.
- 22 unless shown or specified by others.
- 23 49. Provide all sprinkler work including sprinkler piping, heads, flow and taper
- 24 switches, trim, accessories, supports unless shown or specified by others,
- 25 anchorage, etc., as shown and/or specified.
- 26 50. Provide color-coding and identification of valves and lines as indicated.
- 27 51. Provide cleaning, disinfecting and testing of lines and equipment, and final
- 28 inspection.
- 29 52. Provide wall sleeves, flashing, pipe hangers, supports, blocking, etc., as
- 30 required for installation of fixtures and equipment.
- 31 53. Provide all insulation required for the scope of this Contract.
- 32 54. Provide all cutting, patching, excavation, bedding, backfill, etc., as necessary
- 33 to install the Work of this Contract.
- 34 55. Provide any housekeeping and equipment pads required for equipment
- 35 (interior or exterior) that are required for the work of this Contract, but not
- 36 shown on Architectural, Civil, or Structural Drawings. General Contractor is
- 37 to provide all housekeeping and equipment pads shown on Architectural,
- 38 Civil, and Structural Drawings.
- 39 56. Furnish any embeds required to be cast in concrete or masonry to the
- 40 appropriate Prime Contractor that would not be considered part of the
- 41 building structure or any wall assembly but required as a result of this
- 42 contract.
- 43 57. Provide any miscellaneous structural framing and decking as required to
- 44 ensure a complete installation of items that are a part of this Contract.
- 45 58. Provide concrete at all services crossing under or near foundations that
- 46 require excavated area to be filled with concrete.
- 47 59. Coordinate with the General Contractor installation of piping installed inside
- 48 masonry units, include providing any temporary supports that are necessary.

- 1 60. Provide fireblocking/firestopping at all locations that are required to
- 2 maintain a fire rating at floor and wall penetrations required as a result of the
- 3 Work of this Contract.
- 4 61. Furnish any access panels, which are required for, access to the Work by this
- 5 Contract. Coordinate opening requirements with the General Contractor.
- 6 Provide floor access boxes as specified.
- 7 62. Provide final Plumbing connections of Owner furnished equipment, as
- 8 shown or specified.
- 9 63. Provide final sprinkler connections to Owner furnished equipment, as shown
- 10 or specified.
- 11 64. Provide final cleaning of all fixtures.
- 12 65. Review and coordinate with General Contractor's Casework subcontractors
- 13 to furnish all sinks, sink outlets, faucets, bubblers, overflows, plugs,
- 14 strainers, fittings, etc., as shown or specified in Casework Specification.
- 15 Plumbing Contractor will be responsible for installation and final
- 16 connections of these items. Plumbing Contractor shall furnish and install all
- 17 stops, and other fittings not listed above for casework equipment, as
- 18 specified in plumbing sections and shall make all final connections. General
- 19 Contractor will provide all accessories, as specified. Plumbing Contractor to
- 20 make final connections of service fittings furnished by General Contractor.
- 21 66. Coordinate tie in of sprinkler system to fire alarm system with Electrical
- 22 Contractor. Provide flow and tamper switches for connection to fire alarm
- 23 system.
- 24 67. Electrical starters for Plumbing Equipment shall be provided under the
- 25 Plumbing Contract. Disconnect furnished and installed by Electrical
- 26 Contractor.
- 27 68. Work must be complete, operational and tested to meet the requirements of
- 28 state and local codes.
- 29 69. PC to provide a temporary hose bibbs (one at the Lower Level Mechanical
- 30 Room and one outside the stairwell on the exterior). on site from the existing
- 31 building for use by the GC and others as needed.
- 32 70. Coordinate all roof penetrations with the G.C. for both the new roof area of
- 33 the addition and the existing roof area.
- 34 71. Prior to tie-in to existing building systems, all piping should be tested and
- 35 P.C. shall provide test reports to the Owner's Construction Manager for
- 36 record.
- 37 72. Verification of the quality of any "existing to remain" piping, equipment, or
- 38 appurtenances. Any defects, leaks, etc. are to be repaired as necessary.
- 39 B. Temporary facilities and controls in the Plumbing Contract include, but are not limited to, the
- 40 following:
- 41 73. Maintain complete operation of existing plumbing systems for occupied
- 42 areas during construction.
- 43 74. Plumber to provide one handwash station including plastic sink with running
- 44 water. Provide hose from existing building hose bib to the sink. Location to
- 45 be determined by Owners Representative.

1 1.9 MECHANICAL CONTRACT

2 A. Work in the Mechanical Contract shall include all labor, material, equipment and services
3 necessary for the complete construction of all heating, ventilating, and air conditioning Work
4 and Work of other ducted systems shown on Mechanical (M-Series) drawings, and described in
5 the General Conditions and Specifications Divisions 01, 02, and 23 and all referenced
6 specifications that apply. Work in the Mechanical Contract includes, but is not limited to, the
7 following (see also responsibility matrix at the end of this section):

- 8 1. Selective Demolition of existing Haverford Township Free Library as per
9 the demolition plans.
- 10 2. Work in any portion of the existing building by this contract must take into
11 consideration any finished spaces to remain. Any ceiling tiles to be removed
12 for access are the responsibility of this contractor. Ceiling tiles shall be
13 removed and stored properly for replacement upon completion of the work.
14 Any damaged ceiling grid or ceiling tiles due to the work will be replaced by
15 this contractor at their expense. Contract must protect all existing finishes to
16 remain including covering counters, flooring, etc. so as not to damage them.
17 If casework parts such as doors and drawers need to be removed to complete
18 this scope of work, contractor shall remove them, properly store them, and
19 reinstall them upon completion of the work.
- 20 3. HVAC Distribution including ductwork, air outlets and inlets, and duct
21 accessories.
- 22 4. Variable Air Volume System, VAV boxes, thermostats, controls integration.
- 23 5. Heating Hot Water System, piping, radiators, convectors, valves,
24 thermostats, controls integration. Modify and add/remove existing and new
25 hot water water piping distribution as noted.
- 26 6. Chilled water system, Chiller, piping, coils, valves, controls itegration.
27 Modify and add/remove existing and new chilled water piping distribution as
28 noted.
- 29 7. Air terminal and packaged units.
- 30 8. Building automation system, including all wiring, software, controllers,
31 switches, programming, graphics, and integration with owner's ethernet.
- 32 9. All Certified Mechanical Testing, Adjusting and Balancing.
- 33 10. General exhaust systems including associated power ventilators.
- 34 11. HVAC systems and equipment.
- 35 12. Vibration isolation.
- 36 13. Piping and duct insulation.
- 37 14. Ductwork shop drawings and coordination drawings
- 38 15. Roof curbs and all required blocking. Mechanical Contractor shall furnish
39 curbs as required for all roof-mounted equipment to General Contractor.
40 Wood blocking at roof openings to be by General Contractor. Coordinate
41 blocking locations and requirements with General Contractor.
- 42 16. Mechanical connections to equipment furnished by the General Construction
43 Contract Plumbing Contract and Electrical Contract.
- 44 17. Concrete equipment bases (pads) required by Mechanical Work.
- 45 18. Hoisting and rigging required for contract work.
- 46 19. Provide de-watering of excavations for Work of this Contract.
- 47 20. Provide Operation and Maintenance instruction manuals and specified
48 training to the Owner including video taping of sessions.

- 1 21. Provide layout for the General Contractor indicating all openings in the new
2 floor and roof decks that have dimensions larger than 10". Openings with
3 dimensions smaller than 10" shall be provided by the Mechanical
4 Contractor, who shall also provide support steel at these openings as
5 required for installation by the General Contractor. All other framing, lintels,
6 miscellaneous supports, etc., required but not specifically shown on the
7 Drawings shall be by this Contractor. Mechanical Contractor should refer to
8 the structural plans for lintel sizes.
- 9 22. Provide protection of structure, finishes, and landscaping from damage
10 resulting from the Work of the Contract. Repair any damage promptly to the
11 satisfaction of the Owner.
- 12 23. Provide painting for "touch up" required to restore "factory finished"
13 equipment and material to its original condition.
- 14 24. Provide all Mechanical work as shown or specified but not limited to
15 vibration isolation, Mechanical equipment, heat recovery units, condensing
16 units, pipe, piping systems, pipe insulation, water treatment, rooftop units,
17 condensers and accessories, air distribution outlets and air handlers, fan coil
18 units, fire and smoke dampers, inspections, identification, roof ventilators,
19 curbs, fans, unit and cabinet heaters, terminal equipment, pumps hangers,
20 support pipe anchors, supports unless designated specifically by the General
21 Contractor, wall sleeves and flashing, etc.
- 22 25. Install ductwork in accordance with the latest recommendations of ASHRAE
23 and SMACNA.
- 24 26. Provide testing and cleaning of distribution systems and equipment and final
25 inspection.
- 26 27. Coordinate connections of equipment, dampers, etc. as required to the fire
27 alarm system with the Electrical Contractor.
- 28 28. Provide identification of equipment, valves, piping and ductwork as
29 required.
- 30 29. Provide all cutting, patching, excavation, bedding, backfill, etc., as necessary
31 to install the Work of this Contract.
- 32 30. Provide any housekeeping and equipment pads required for equipment
33 (interior or exterior) that are required for the work of this Contract.
- 34 31. Furnish any embeds required to be cast in concrete or masonry to the
35 appropriate Prime Contractor that would not be considered part of the
36 building structure or any wall assembly but required as a result of this
37 contract.
- 38 32. Provide any miscellaneous structural framing and decking as required to
39 ensure a complete installation of items that are a part of this Contract.
- 40 33. Provide fireblocking/firestopping at all locations that are required to
41 maintain a fire rating at floor and wall penetrations required as a result of the
42 Work of this Contract.
- 43 34. Provide all insulation required for the scope of this Contract.
- 44 35. Furnish any access panels, which are required for, access to the Work by this
45 Contract. Coordinate opening requirements with the General Contractor.
46 Provide floor access boxes as specified.
- 47 36. Coordinate/layout openings required for all exterior louvers and vents in
48 existing building and new construction with the General Contractor.

- 1 37. Provide final Mechanical connections of Owner furnished equipment, as
- 2 shown or specified.
- 3 38. Coordinate tie-in of ventilation control system and equipment and duct
- 4 smoke detectors to fire alarm system with Electrical Contractor.
- 5 39. Motor starters for packages Mechanical equipment shall be furnished by the
- 6 Mechanical Contractor; loose starters and disconnect switchers shall be
- 7 furnished and installed by Electrical Contractor. Starter connections to be
- 8 installed by the EC.
- 9 40. Provide heat tracing for own Work. Final connection to power source by
- 10 Electrical Contractor.
- 11 41. Install duct smoke detectors furnished by the Electrical Contractor.
- 12 42. Work must be complete, operational and tested to meet the requirements of
- 13 state and local codes.
- 14 43. Owner will be providing a commissioning agent. Contractor shall coordinate
- 15 all work with Owner's Commissioning Agent.
- 16 44. Coordinate all roof penetrations with the G.C. for both new roof area of the
- 17 addition and the existing roof area. G.C. is responsible to cut and flash in all
- 18 penetrations in the roof, new and existing.
- 19 45. Prior to tying into the existing building's systems, all piping should be tested
- 20 and HC shall provide test reports to the Owner's rep. for record.
- 21 46. Installation of Owner Furnished Items as noted in 01 1000 Summary, 1.9
- 22 Owner Furnished Contractor Installed (OFCI).
- 23 47. Verification of the quality of any "existing to remain" ducting, piping,
- 24 equipment, or appurtenances. Any defects, leaks, etc. are to be repaired as
- 25 necessary.
- 26

27 B. Temporary facilities and controls in the Mechanical Contract include, but are not limited to, the
28 following:

- 29 1. Per the Milestones listed in section 011000 Summary, paragraph 1.6, with
- 30 the Owner's approval, the permanent HVAC systems are to be used for
- 31 temporary heating of the building. Mechanical Contractor to purchase three
- 32 (3) additional months of warranties on all equipment. Mechanical
- 33 Contractor to provide temporary filters to be changed out weekly on the
- 34 main return ductwork in addition to the internal filters in the units. At the
- 35 time of substantial completion Mechanical Contractor to provide an install
- 36 all new filters for all HVAC equipment.

37 1.10 ELECTRICAL CONTRACT

- 38 A. Work in the Electrical Contract shall include all labor, material, equipment and services necessary for
- 39 the complete construction of all electrical Work shown on the Electrical (E-Series) drawings,
- 40 and described in the General Conditions and Specification Divisions 0, 02, and 26 through 28
- 41 and all referenced specifications that apply. Work in the Electrical Contract includes, but is not
- 42 limited to, the following (see also responsibility matrix at the end of this section):
- 43 1. Selective Demolition of existing Haverford Township Free Library as per the demolition
- 44 plans

- 1 2. Any ceiling tiles to be removed for access are the responsibility of this contractor.
2 Ceiling tiles shall be removed and stored properly for replacement upon completion of
3 the work. Any damaged ceiling grid or ceiling tiles due to the work will be replaced by
4 this contractor at their expense. Contract must protect all existing finishes to remain
5 including covering counters, flooring, etc. so as not to damage them. If casework parts
6 such as doors and drawers need to be removed to complete this scope of work, contractor
7 shall remove them, properly store them, and reinstall them upon completion of the work.

- 8 3. Modifications to the existing electrical distribution system including new panel boards,
9 panelboard replacements, and all new site electrical utility work.
- 10 4. Exterior and interior building and site lighting including light pole bases.
- 11 5. Communications, data, security, fire detection systems, and raceway and power to
12 support Owner-provided audio/video systems.
- 13 6. Special electrical systems, including the following:
 - 14 a. Uninterruptible power supply systems.
 - 15 b. Battery power systems.
 - 16 c. Surge suppression.
 - 17 d. Lightning Protection.

- 18 7. Electrical connections to equipment furnished by the General Construction Contract,
19 Plumbing Contract, and Mechanical Contract.
- 20 8. Concrete equipment bases (pads) required by Electrical Work.
- 21 9. Hoisting required for contract work.
- 22 10. Provide de-watering of excavations for Work of this Contract.
- 23 11. Provide Operation and Maintenance instruction manuals and specified training to the
24 Owner including video taping of sessions.
- 25 12. Provide layout for the General Contractor indicating all openings in the new floor and
26 roof decks that have dimensions larger than 10". Openings with dimensions smaller than
27 10" shall be provided by the Electrical Contractor, who shall also provide support steel at
28 these openings as required for installation by the General Contractor. All other framing,
29 lintels, miscellaneous supports, etc., required but not specifically shown on the Drawings
30 shall be by this Contractor. Electrical Contractor should refer to the structural plans for
31 lintel sizes.
- 32 13. Provide start up and training as required by the contract documents.
- 33 14. Provide painting for "touch up" required to restore "factory finished" equipment and
34 material to its original condition.
- 35 15. Provide all Electrical Work including testing, conduit, wiring and cable, boxes, wiring
36 devices, enclosures, equipment final connections, support devices, identification,
37 switchboards, disconnect switches, primary and secondary grounding, panel boards,
38 motor controls, lighting fixtures, equipment systems, emergency power and lighting, fire
39 alarm, and smoke detection, final Mechanical electrical, fire protection electrical, and
40 plumbing electrical connections, hangers, supports unless specifically designated by the
41 General Contractor, blocking, wall sleeves, flashing, etc., as shown and/or specified.
- 42 16. Provide equipment and wiring necessary for installation and interfacing of the following
43 systems:
 - 44 a. Fire Alarm System
 - 45 b. Mechanical Equipment
 - 46 c. Plumbing Equipment

- 1 d. Fire Protection Equipment
- 2 e. Lighting Controls, etc.
- 3 f. Security System – Access Control
- 4 g. Lightning Protection System
- 5 h. Computer Network Cabling
- 6 i. Parking lot monitoring system.
- 7 j. Audio Visual Systems.
- 8 k. Distributed Antenna System.
- 9 l. And as designated on drawings and in specifications
- 10 17. Electrical Contractor to provide a complete or partial system for all systems above
- 11 including conduit, wire, connectors, terminations, patch controls, jacks, testing,
- 12 equipment, brackets, hardware, layout check out, training, etc.
- 13 18. Provide identification of equipment as specified.
- 14 19. Provide all cutting, patching, excavation, and backfill, including work for new incoming
- 15 services, exterior lighting, etc., as necessary to install the Work of this Contract.
- 16 20. Provide fire rated backboards for electrical and telephone equipment as shown or
- 17 specified.
- 18 21. Furnish any access panels, which are required for, access to the Work by this Contract.
- 19 Coordinate opening requirements with the General Contractor. Provide floor access
- 20 boxes as specified.
- 21 22. Provide any housekeeping and equipment pads required for equipment (interior or
- 22 exterior) that are required for the work of this Contract.
- 23 23. Furnish any embeds required to be cast in concrete or masonry to the appropriate Prime
- 24 Contractor, except embeds related to exterior light bases, which are installed by the
- 25 Electrical Contractor.
- 26 24. Provide any miscellaneous structural framing and decking as required to ensure a
- 27 complete installation of items that are a part of this Contract.
- 28 25. Provide concrete encasement of conduit, foundation/base for site lighting, etc., as
- 29 required for Work by this Contract. Provide waring tape as required. Provide rebar
- 30 reinforcement as shown on Contract Documents.
- 31 26. Provide fireblocking/firestopping at all locations that are required to maintain a fire rating
- 32 at floor and wall penetrations required as a result of the Work of this Contract.
- 33 27. Provide power wiring 120 volts and greater to all Mechanical, Electrical, and Plumbing
- 34 equipment, shop equipment, etc., as required or shown.
- 35 28. Provide final electrical power connection of casework, and equipment as per the Contract
- 36 Documents and Specifications. Install all electrical wiring and devices within the plastic
- 37 laminate, wood, and library casework furnished by the respective contractor.
- 38 29. The Electrical Contractor shall furnish and install the conduit and wire for all systems
- 39 using 120 volts and above.
- 40 30. Provide testing and documentation of test results for electrical systems as per the
- 41 Contract Documents.
- 42 31. Electrical Contractor shall provide conduit and back boxes, surface metal raceway, pull
- 43 strings, sleeves to communication closets, and device boxes as required for installation of
- 44 all communication systems as per the Contract Documents.
- 45 32. Electrical Contractor shall provide conduit and back boxes, surface metal raceway, pull
- 46 strings, and device boxes as required for installation of audio visual systems as per the
- 47 Contract Documents.
- 48 33. Electrical Contractor to provide and install telephone and data cables for connection to
- 49 the fire alarm panel, security panel, ATC panels, etc.

- 1 34. Electrical Contractor shall provide fire alarm wiring and final connection to fire sprinkler
- 2 flow and tamper switches as required.
- 3 35. Electrical Contractor shall provide heat rise and smoke detector system.
- 4 36. Electrical Contractor shall provide wire and power and final connection for magnetic
- 5 hold open devices installed by the General Contractor for hold open doors.
- 6 37. The Electrical Contractor shall be responsible for providing temporary power to heating
- 7 equipment to prevent freezing of the building.
- 8 38. Coordinate with Mechanical Contractor for electrical hook-up of Mechanical equipment
- 9 in order to complete all construction-phasing requirements.
- 10 39. Provide a complete data system including all wiring, fiber optic cable, MDF and IDF
- 11 head end equipment, jacks, testing, etc.
- 12 40. Provide complete cable TV system including wiring and jacks. TV brackets/video
- 13 projector mount will be provided by owner for installation by the General Contractor.
- 14 41. Provide all inner duct and fireproofing as required for Work of this Contract.
- 15 42. Work must be complete, operational, and tested to meet the requirements of state and
- 16 local codes. Electrical Contractor is to hire an underwriter for all electrical testing.
- 17 43. Installation of Owner Furnished Items as noted in 01 1000 Summary, 1.9 Owner
- 18 Furnished Contractor Installed (OFCI).
- 19 44. E.C. must have temporary power panel on site for the addition work by August 11, 2023.
- 20 Temporary power (main feed and poles) to the trailers must be completed by August 11,
- 21 2023.
- 22 45. E.C. to coordinate all roof penetrations with the G.C. G.C. to make all penetrations and
- 23 flash all penetrations in new and existing roofs.
- 24 46. Verification of the quality of any "existing to remain" ducting, piping, equipment, or
- 25 appurtenances. Any defects, leaks, etc. are to be repaired as necessary
- 26 47. Electrician is to provide all third party electrical inspections as part of this contract.
- 27 Provide copies of all inspection reports to the Architect and Construction Manager
- 28 D. Temporary facilities and controls in the Electrical Contract include, but are not limited to, the
- 29 following:
 - 30 1. Maintain complete operation of existing electrical systems for occupied
 - 31 areas during construction.
 - 32 2. Temporary electric distribution per Division 01 Section 015000.
 - 33 3. Temporary power and data to the construction trailers.
 - 34 4. Temporary construction power and temporary construction lighting.
 - 35 5. Temporary connections to existing systems and temporary facilities and
 - 36 controls furnished by the General Construction Contract, Plumbing Contract,
 - 37 Mechanical Contract, and Electrical Contract.
 - 38 6. Electrical Contractor is to hook up 3 phase power chords for floor grinding
 - 39 provided by the General Contractor.

1 PART 2 - PRODUCTS (Not Used)

2 PART 3 - EXECUTION (Not Used)

3 END OF SECTION 01 12000

4

5

6

1

2

This Page Left Intentionally Blank

1 SECTION 0123 00 – ALTERNATES

2

3

4 PART 1 - GENERAL

5

6

7 1.1 RELATED DOCUMENTS

8

- 9 A. Drawings and general provisions of the Contract, including General and
10 Supplementary Conditions and other Division 1 Specification Sections, apply
11 to this Section.

12

13 1.2 SUMMARY

14

- 15 A. This Section includes administrative and procedural requirements for alternates.

16

17 1.3 DEFINITIONS

18

- 19 A. Alternate: An amount proposed by bidders and stated on the Bid Form for
20 certain work defined in the Bidding Requirements that may be added to or
21 deducted from the Base Bid amount if Owner decides to accept a corresponding
22 change either in the amount of construction to be completed or in the
23 products, materials, equipment, systems, or installation methods described in
24 the Contract Documents.

25

- 26 B. The cost or credit for each alternate is the net addition to or deduction from
27 the Contract Sum to incorporate alternate into the Work. No other adjustments
28 are made to the Contract Sum.

29

30 1.4 PROCEDURES

31

- 32 A. Coordination: Modify or adjust affected adjacent work as necessary to
33 completely integrate work of the alternate into Project.

34

- 35 1. Include as part of each alternate, miscellaneous devices, accessory
36 objects, and similar items incidental to or required for a complete
37 installation whether or not indicated as part of alternate.

38

- 39 B. Notification: Immediately following award of the Contract, notify each party
40 involved, in writing, of the status of each alternate. Indicate if alternates have
41 been accepted, rejected, or deferred for later consideration. Include a complete
42 description of negotiated modifications to alternates.

43

- 44 C. Execute accepted alternates under the same conditions as other work of the
45 Contract.

46

- 47 D. Schedule: A Schedule of Alternates is included at the end of this Section.
48 Specification Sections referenced in schedule contain requirements for materials
49 necessary to achieve the work described under each alternate.

50

- 1 E. Each prime contractor shall consider each alternate and provide a response on
2 the bid form as indicated on the bid form and instructions to bidders. If a bidder
3 indicates “Not Applicable” and the Owner accepts that alternate, the prime
4 contractor indicating “Not Applicable” shall support the alternate scope without
5 change in contract sum or time.
6
- 7 F. General Contractor shall include in his base bid, any administrative and
8 overhead costs (including project management and scheduling work) for the
9 largest and most expansive scope as defined by any combination of Alternates.
10 This includes any Alternates for Mechanical Contractor, Plumbing Contractor
11 or Electrical Contractor work that is exclusive of General Construction work.
12

13 PART 2 - PRODUCTS (Not Used)

14 PART 3 - EXECUTION

15 3.1 SCHEDULE OF ALTERNATES

- 16
- 17 A. Deduct Alternate No.1: Delete Fire Place
- 18 1. Base Bid: The base bid shall include the fire place in the Living Room (Room
19 115), surrounding finishes, flues, penetrations, and all gas and electric connections,
20 as indicated.
- 21 2. Deduct Alternate: In lieu of fireplace, surrounding finishes, flues, ceiling and roof
22 penetrations, and all gas and electrical connections add two sections of painted
23 wood shelving as indicated.
24
- 25 B. Deduct Alternate No. 2: Delete Operable Panel Partitions in Community Room
- 26 1. Base Bid: The base bid shall include installation of the operable panel partitions
27 OP-1 and OP-2, associated electric motor, Pass Doors and Pocket Doors,
28 associated support structure, guide tracks and gypsum wall board soffits in the
29 Community Rooms 1 and 2 (Rooms 003 and 004), as indicated.
- 30 2. Deduct Alternate: Delete operable panel partition panels OP-1 and OP-2, Pass
31 Doors and Pocket Doors, electric motor, and electrical connections only. All other
32 components of installation to remain.
33
- 34 C. Add Alternate 3: Stainless Steel Exterior Guardrails
- 35 1. Base Bid: The base bid shall include painted galvanized steel exterior guardrails
36 with stainless steel fittings and stainless steel handrails, as indicated.
- 37 2. Add Alternate: In lieu of painted galvanized steel exterior guardrail elements,
38 provide same elements in stainless steel in same dimensions and configuration as
39 indicated. All other documented stainless steel fittings and stainless steel handrails
40 to remain.
41
- 42 D. Add Alternate 4: Add Instantaneous Hot Water Heater
- 43 1. Base Bid: The base bid shall include the gas-fired 80-gallon hot water heater in
44 Janitors room (Room 009).
- 45 2. Add Alternate: In lieu of the gas-fired 80-gallon hot water heater, and associated
46 gas connection, provide an instantaneous hot water heater and associated electrical
47 connections in Janitors room (Room 009), as indicated.

- 1
2 E. Add Alternate 5: Add Distributed Antenna System
3 1. Base Bid: The base bid includes no Distributed Antenna System (DAS) in the
4 Lower Level of the library.
5 2. Add Alternate: In lieu of no Distributed Antenna System (DAS) in the Lower
6 Level of the library, provide the specified DAS.
7
8 F. Add Alternate 6: Add Lightning Protection
9 1. Base Bid: The base bid includes no Lightning Protection on the building.
10 2. Add Alternate: In lieu of no Lightning Protection on the building, provide the
11 specified Lightning Protection.
12
13 G. Add Alternate 7: Add Submittal Software Services
14 1. Base Bid: The base bid includes submittal distribution via email as outlined in
15 Section 013300Submittal Procedures.
16 2. Add Alternate: In lieu of distribution of submittals via email, the General
17 Construction Contractor shall include in the Alternate the full cost of procuring a
18 submittal software services for this project. The system shall be one of the
19 following: Procore, Plangrid, Submittal Exchange or an approved
20 comparable construction industry recognized system. The cost of the system
21 shall include full access for all prime contractors, Owner, Architect,
22 Construction Manager and others as required.
23
24 H. Deduct Alternate No.8: Aluminum feeders/wiring (100 amps and larger only)
25 1. Base Bid: The base bid shall include copper feeders and wiring as per specification
26 section 260000.
27 2. Deduct Alternate: In lieu of copper feeders and wiring 100 amps and larger to be
28 aluminum as per NEC.
29
30 I. Deduct Alternate No.9: Fire Alarm wiring FPLP Plenum Rated
31 1. Base Bid: The base bid shall include fire alarm MC Cable as per specification
32 section 283000.
33 2. Deduct Alternate: In lieu of MC Cable provide Plenum Rated FPLP Cable.
34
35 J. Add Alternate No. 10: Add Automatic Flush Valves
36 1. Base Bid: At restrooms (rooms 015, 016, 021, 022, 111, 112, 216, and 218) the
37 base bid shall include the toilet flush valves as specified in the Plumbing Fixture
38 Schedule.
39 2. Add Alternate: In lieu of the specified toilet flush valves at these rooms, provide
40 American Standard model 6065.121.002 battery powered automatic flush valve at
41 toilets.
42
43 K. Add Alternate No. 11: Add Automatic Hand Dryers
44 1. Base Bid: At restrooms (rooms 015, 016, 021, 022, 111, 112, 216, and 218) the
45 base bid shall include the paper towel dispensers and waste receptacles Item
46 Numbers 6A, 6B, as specified in the Toilet and Bath Accessories Schedule.
47 2. Add Alternate: in lieu of the specified paper towel dispensers and waste
48 receptacles at these rooms, provide Dyson low voltage Airblade V surface-
49 mounted electric hand dryers, model HU02 in sprayed nickel finish adjacent to the
50 sinks. Hand dryers in restrooms 015, 016, 021, and 022 will each be served via a
51 dedicated 20 Amp, 1-Pole overcurrent protection device in panel "LRPB". Hand

1 dryers in restrooms 111, and 112 will each be served via a dedicated 20 Amp, 1-
2 Pole overcurrent protection device in panel "LRP1". Hand dryers in restrooms
3 216, and 218 will each be served via a dedicated 20 Amp, 1-Pole overcurrent
4 protection device in panel "LRP2".
5

6 L. Add Alternate No. 12: Add Replacement Restroom Fixtures

- 7 1. Base Bid: At Existing Restroom (room 214) the base bid shall include leaving the
8 existing toilet and sink in place, as indicated.
9 2. Add Alternate: In lieu of leaving the existing toilet and sink in place in this room,
10 remove the existing toilet and sink and provide American Standard Madera toilet
11 model 2857.128 with model 6065.121.002 battery powered automatic flush valve
12 and wall-mounted lavatory American Standard Lucern model 355012.02 with
13 battery powered American Standard Innsbrook model 6065B.205 battery
14 automatic faucet. Connect to existing sanitary line, vent and water piping.
15

16 M. Add Alternate No. 13: Add Automatic Roller Shades

- 17 1. Base Bid: Provide manual roller shades at all exterior windows except no shades at
18 new Stair (Room ST1-1), Lobby (Room 200), Open Office (Room 020), Lounge
19 (Room 020D), Closet (Room 020B), Non-Fiction (Room 103), Tutor Rooms
20 (Rooms 104A and 104C), Fiction (Room 107), Mysteries (Room 114), Meeting
21 Room (Room 200A), Young Adult (Room 202) clerestory windows in Seating
22 Area (Room 201), at exterior north window at Children (Room 206) and at Hall
23 (Room 227). Provide automatic roller shades at exterior windows in Gaming Area
24 (Room 202B) as indicated in Architectural and Electrical drawings.
25 2. Add Alternate: In lieu of manual roller shades at indicated Base Bid exterior
26 windows, provide automatic roller shades. At these locations, the electrical
27 contractor is to provide 120V-1Ø power via branch circuits indicated or as required
28 by the manufacturer. Coordinate all control requirements with the final equipment
29 selections and provide line voltage wiring methods as required. All low voltage
30 controls are to be provided by the low voltage contractor.
31

32 N. Add Alternate No. 14: Add Site for Construction Offices and Contractor's Trailers

- 33 1. Base Bid: Provide temporary construction offices on library site as outlined in
34 section 015000 TEMPORARY FACILITIES AND UTILITIES.
35 2. In lieu of providing temporary construction offices on library site, assume that a 3
36 acre lot located within 1,000 linear feet of the library (approximate size 115'x115')
37 will be available for use (location to be determined). General Contractor to grade
38 site (Contractor can assume the site is essentially flat with minimal grading
39 required) and provide geofabric and 12 inches of 2a modified stone throughout
40 site, a 6foot high temporary construction fence with lockable gate around the
41 perimeter of site, and a 12 inch diameter silt sock around the perimeter of site.
42 General Contractor to provide one (1) office trailer large enough to have 10 person
43 meetings and provide one (1) small office trailer with a bathroom for Owner's
44 Representative. This site will be available for the full duration of construction.
45 General Contractor, Mechanical Contractor, Plumbing Contractor and Electrical
46 Contractor can each have one 40 ft trailer at their discretion on this site. At
47 completion of construction General Contractor to remove the stone, fabric, slit sock
48 and fencing, finish grade the site and seed the soil.
49

50 END OF SECTION

SECTION 02 82 00 – HAZARDOUS MATERIAL ABATEMENT

The following are incorporated into this section:

1. Scope of Work for Asbestos Abatement, undated, by Element Environmental Solutions (Consultant to Owner).
2. Elevator Hydraulic System Decommissioning Specifications, dated April 27, 2023, by Element Environmental Solutions (Consultant to Owner).

3. Elevator Hydraulic System Decommissioning Specifications – Haverford Township Free Library, dated April 27, 2016, by Element Environmental (Consultant to Owner), 2 pages
4. Building Renovation for Haverford Township Free Library – Scope of Work for Asbestos Abatement, undated, by Element Environmental (Consultant to Owner), 5 pages
5. Locations of Asbestos Containing Materials, Lower Level, First Floor and Second Floor plans, dated 3/3/2023, by Element Environmental (Consultant to Owner), 3 pages

This section contains nine (9) pages, not including cover page.

END OF SECTION

1
2
3
4
5
6
7
8
9

This Page Intentionally Left Blank

April 27, 2023

Sukrit Goswami | M.S.I.S. | M.B.A.
Library Director
Haverford Township Free Library
1601 Darby Road
Havertown, PA 19083

RE: Elevator Hydraulic System Decommissioning Specifications
Haverford Township Free Library

Dear Mr. Goswami,

Below please find the procedures for decommissioning the hydraulic system associated with the library's elevator that is being removed as part of the building demolition.

1. The elevator car must be lowered to its lowest point.
2. Contents of the above ground hydraulic oil tank and hydraulic system should be transferred into appropriate drums to be properly disposed or recycled in accordance with all waste disposal regulations.
3. The aboveground tank associated with the elevator should be cut open and cleaned of all residual oil to allow for metal recycling of the elevator system.
4. All contents and cleaning materials should be properly disposed, and a waste disposal manifest must be provided to the owner.

GUIDELINES AND REGULATORY REQUIREMENTS

The construction, alteration, and maintenance of all elevators in the Commonwealth of Pennsylvania are regulated by the Uniform Construction Code (UCC). The UCC consists of:

- The UCC statute (Act 45 of 1999, as amended).
- The regulations implementing this statute, 34 Pa Code, Chapters 401, 403 and 405.
- The American Society of Mechanical Engineers (ASME) standards adopted in the regulations at 405.2.

In addition, the following regulations may apply:

- 37 Pa. Code, Chapters 11 and 13, "Flammable and Combustible Liquids", enacted by the State of Pennsylvania and enforced by the State Fire Marshal Division, effective June 18, 1984.
- "The Storage Tank and Spill Prevention Act", No. 1989-32, enacted by the Commonwealth of Pennsylvania.

- 25 Pa Code, Chapter 245, Subchapters A and B, "Administration of the Storage Tank and Spill Prevention Program", regulations promulgated by the Department of Environmental Protection (DEP).
- "The Clean Streams Law", No. 394 of 1937, enacted by the State of Pennsylvania, as amended.
- 25 PA Code, Chapter 101, "Special Water Pollution Regulations", promulgated by the Department of Environmental Protection (DEP) on September 3, 1971, as amended.
- National Fire Protection Association (NFPA), Code 30, "Flammable and Combustible Liquids Code", 1987.

Sincerely,
E2S, Inc.

A handwritten signature in black ink, appearing to read "Mark T. Smith". The signature is fluid and cursive, with a large initial "M" and "S".

Mark T. Smith, P.G.
Principal Geologist

Building Renovation for Haverford Township Free Library - Scope of Work for Asbestos Abatement

Prepared for: Haverford Township Free Library

Owner Contacts: Randon Petrae (rpetrae@cbdsi.com)

Dan Gensemer (dan@e2s.us)

Location: 1601 Darby Road, Havertown, Pennsylvania, 19083

Prepared by: Element Environmental Solutions, Inc. (E2S)

E2S Project: 1177.0002

Please provide cost proposals on company letterhead sent to a general contractor that is bidding on the project based on the Scope of Work below. Abatement Contractor will be a sub-contractor to the General Contractor. Site visits can be scheduled by contacting the Owner; Contractor to verify quantities of ACM during site visit. All front end bid document requirements prepared by Bernardon Architects are part of the abatement bid.

SCOPE OF WORK – BASE BID

CONTRACTOR will provide all labor and materials necessary for the removal and proper disposal of the following asbestos-containing materials (ACM) in their entirety, at the above-mentioned project site:

1. **Base Bid** - Approximately 4,765 square feet (S.F.) of ACM 1' x 1' Floor Tile and Mastic located throughout the building. Approximately 51 sections of mastic ends on Fiberglass Insulated Pipe (FGIP) and the removal and disposal of asbestos containing caulking/glazing on 3 basement window well windows. See below for Asbestos Abatement Removal Procedures.
2. CONTRACTOR is responsible to submit the required asbestos abatement notification to Pennsylvania Department of Environmental Protection (PA DEP), Environmental Protection Agency (EPA) and the Pennsylvania Department of Labor and Industry (PA DLI) within the required time limits and to obtain all other required permitting, as applicable to the project scope.
3. Quantities are estimated and CONTRACTOR is responsible for verifying quantities and work locations prior to bidding.

Schedule – Asbestos abatement schedule to be determined by Owner. Work hours are any time between 7:00 A.M. and 5:30 P.M. CONTRACTOR has the option of working any hours between those designated times but must coordinate work hours and building access through the Owner or Owner's Representative.

REMOVAL PROCEDURES

CONTRACTOR will be responsible to perform all work in accordance with applicable federal, state and local regulations, including but not limited to the following:

- i. OSHA - 29 CFR 1910, 29 CFR 192, 29 CFR 1926
- ii. EPA - 40 CFR 61 (NESHAP), 40 CFR 763 (AHERA)
- iii. PADLI - Act No. 1990-194

At a minimum, CONTRACTOR is to perform work in accordance with the following procedures (if a conflict arises, the more stringent rule shall apply):

ACM FLOOR TILE AND MASTIC

Contractor shall perform the removal of all floor tile and associated adhesive and mastic on concrete under full containment with a 3-stage decontamination chamber in place, under negative pressure, using wet removal methods. Full containment shall consist of 2-layers of 6-mil polyethylene sheeting for critical barriers, 1-layer of 6-mil poly sheeting on walls, and 1-layer of 6-mil poly sheeting on ceiling. Contractor shall erect proper signage to meet OSHA regulated area requirements. Contractor shall remove all flooring materials and associated mastics as indicated on Drawings ACM-01 – ACM-03. Mastic on concrete will be removed using HEPA-equipped floor grinding (mechanical methods); edges and hard to reach areas shall be removed using grinders, scrapers, or similar methods (no chemical solvents). Abatement Contractor shall leave floor (concrete substrate) in a clean relatively smooth condition free of ACM suitable for installation of new flooring.

If power supply sufficient to operate grinding equipment is available, the Owner will allow Contractor use; however, Contractor is responsible for verifying power supply and shall include all necessary costs in Bid for providing power supply (generators) if necessary.

Quantities provided are based on wall-to-wall calculations, where applicable. Prior to removal of flooring materials and mastic included in the abatement scope, all casework, cabinets, equipment, appliances, etc. are to be removed by General Contractor prior to the abatement process this includes any electrical disconnects required on equipment and appliances. Contractor shall include all removal costs associated with all flooring and mastic removal in Bids, including flooring and mastic located under casework, etc.; No additional costs will be approved for flooring and mastic unless located in areas NOT identified on Drawings ACM-01 – ACM-03. All ACM shall be disposed of according to regulation for that particular category of material (friable, non-friable category I, etc.) in a landfill that accepts such material. All waste shall be properly packaged and labeled, and manifested, according to regulation for the type of materials.

Damages to existing finishes shall be documented (photographed and saved for reference) by the Asbestos Abatement Contractor for any future dispute issues. In addition, Asbestos Abatement Contractor is responsible for any fees or permits required for this project.

Upon completion of removal and visual inspection, Contractor shall apply encapsulant to poly sheeting only, Contractor shall not encapsulate the floor surfaces. Owner's Environmental Consultant will perform final clearance testing in accordance with AHERA regulations.

MASTIC ENDS ON FIBERGLASS INSULATED PIPE (FGIP)

Contractor shall perform the removal of asbestos-containing mastic ends on fiberglass-insulated pipe (FGIP) with critical barriers and a 3-stage decontamination chamber in place, under negative pressure, using wet removal methods, and using glove-bag removal techniques in accordance with regulations. Critical barriers shall consist of 2 layers of 6-mil polyethylene sheeting, and Contractor shall erect proper signage to meet OSHA regulated area requirements. Contractor shall place a 6-mil “drop cloth” beneath piping in all locations of glove-bag removal and shall operate a HEPA-vacuum in conjunction with the glove-bag removal process. When removing ACM mastic ends on FGIP, Contractor shall remove fiberglass pipe insulation at least 2” back from the ACM mastic ends, as a buffer zone.

Upon completion of removal and visual inspection, Contractor shall apply an approved encapsulant to the pipe substrate. ACM mastic ends insulation must be disposed of as Friable Asbestos in an EPA-approved asbestos landfill. All waste shall be properly packaged and labeled, and manifested, according to regulation for the type of materials.

EXTERIOR WINDOW CAULK/GLAZING LOCATED ON OLD WINDOW WELLS

Contractor shall perform the removal and disposal of window caulk/glazing, using wet removal methods and non-friable removal techniques. Contractor shall begin by covering the ground in the immediate areas of removal with one (1) layer of 6-mil poly sheeting, secured at least ten (10) feet in all directions, wherever feasible, or at a sufficient distance to contain potential debris, to act as a drop cloth and contain any debris that may fall during the removal process. Contractor shall also seal all openings to inside the building (i.e. exhaust duct, penetrations, etc.) and seal the components inside the building in the locations where they are to be removed (attach to walls on each side of window, door, vent, etc. prior to removal), using 6-mil poly sheeting as a critical barrier, to prevent potential airborne hazards inside the building.

Appropriate OSHA warning signs, barricades, etc., shall be posted at the access points to the work area and at all other areas deemed appropriate for proper warning and protection of people not associated with the removal, including waste container areas. Attach warning sign at each entrance into the work area, as applicable. To prevent entry by unauthorized personnel, establish exclusion area with warning tape fifty (50) feet minimum from all exterior abatement areas and/or waste holding or staging areas located on the ground. If warning tape is not adequate in preventing unauthorized entry, secure the area with chain link fence. Warning tape shall be three (3) feet from ground.

The basement windows containing the caulk/glazing are scheduled to remain, Abatement Contractor shall remove caulking/glazing only, in its entirety, and leave the window component system in place. The sealing of the abated caulk/glazing shall be re-caulked after visual inspection is completed and approved by the OWNER’S ENVIRONMENTAL CONSULTANT.

Removal shall be performed using work practices that prevent the caulk/glazing from becoming friable, including wet-misting techniques and operating a high-efficiency particulate air (HEPA) vacuum in the immediate vicinity of the removal. The use of tools or operations that may sand, grind, or abrade, or otherwise render the caulk friable, are not allowed. Removal process for

caulking/glazing that remains adhered to the building shall consist of manual scraping, using wet and non-friable removal methods, to remove the caulking/glazing from the building substrate. Removal of exterior caulk shall be performed, at a minimum, in accordance with the Environmental Protection Agency (EPA) National Emissions Standard for Hazardous Air Pollutants (NESHAP's) regulation, which requires non-friable, wet removal techniques with no visible emissions; and all applicable Occupational Safety and Health Administration (OSHA) Regulations, which regulates exposure to asbestos, lead and PCB's (Worker Protection, Action Level, Permissible Exposure Limit, etc.).

Upon completion of the removal, Contractor shall clean all substrates that remain (exterior brick, etc.), and were in contact with asbestos, in accordance with procedures outlined in applicable regulatory standards for each material; and visually inspect the adjacent areas for possible caulk/glazing debris. **Contractor shall leave the site clean and free of all debris.**

Disposal of waste generated from the project will be in accordance with governing federal, state and local regulations. Asbestos-containing caulk shall be disposed of as non-friable category I ACM.

DISPOSAL OF ASBESTOS CONTAINING WASTE

Disposal of asbestos containing materials and waste will be in accordance with governing federal, state and local regulations for the materials being removed. The asbestos waste will be transported to an EPA approved landfill (as applicable) within forty-five days after removal. CONTRACTOR is responsible to submit a waste manifest/landfill receipt to the OWNER at the conclusion of the project and no later than September 8, 2023.

ACCREDITATIONS, CERTIFICATIONS, LICENSES

All individuals involved with the removal and handling of asbestos containing materials (ACM) will have a valid EPA AHERA worker or worker/supervisor accreditation, or the equivalent.

All individuals involved with the removal and handling of ACM will have a current license issued by the Pennsylvania Department of Labor and Industry (PA DLI) and shall provide proof of such licensing.

CONTRACTOR must be a PA DLI licensed asbestos abatement contractor and shall provide proof of such licensing.

AIR SAMPLING/CLEARANCE TESTING

Periodic project air sampling may be performed to measure airborne fiber levels. Analytical results of these air samples will help determine the effectiveness of CONTRACTOR's work practices in minimizing fiber releases during the removal operation.

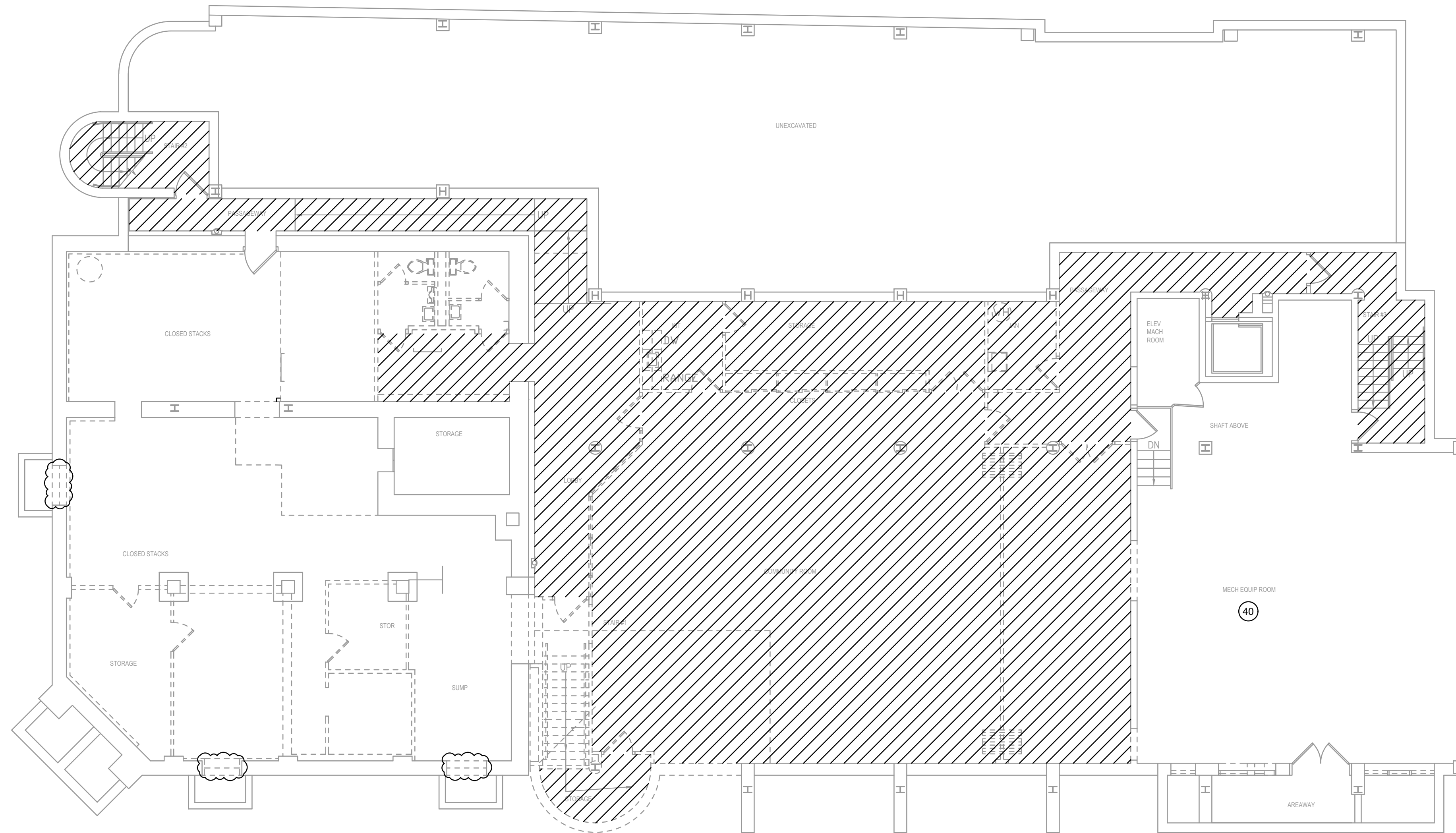
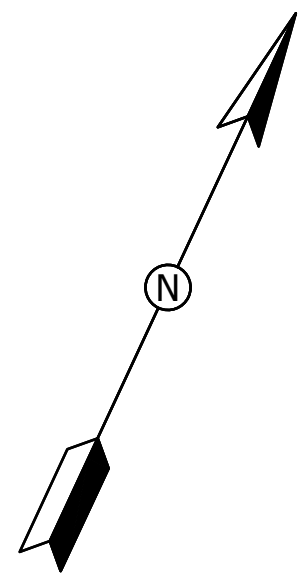
Should project air samples, when analyzed by Phase Contrast Microscopy (PCM), show an average fiber concentration greater than 0.1 f/cc (OSHA PEL), CONTRACTOR may be required, at the discretion of OWNER'S ENVIRONMENTAL CONSULTANT, to modify work practices at CONTRACTOR'S expense. No additional time or costs will be allowed CONTRACTOR for such additional work.

During abatement operations, OWNER may have a representative on-site to periodically observe the abatement process and review CONTRACTOR'S abatement techniques. OWNER or OWNER'S ENVIRONMENTAL CONSULTANT shall have the authority to issue a stop work order of require






CONTRACTOR to modify work practices if CONTRACTOR does not comply with the applicable regulations.

After passing a visual inspection, OWNER'S ENVIRONMENTAL CONSULTANT will conduct final clearance testing. Clearances will be determined by Phase Contrast Microscopy (PCM) analysis of final air clearance samples. If CONTRACTOR fails clearance testing, CONTRACTOR will be responsible for all costs associated with additional clearance testing until work area meets the applicable EPA re-occupancy criteria.



LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"

LEGEND

-  ASBESTOS CONTAINING FLOORING
1 x 1 FLOOR TILE AND MASTIC
-  MASTIC ENDS ON FGIP
-  ACM CAULKING / GLAZING (3 WINDOWS)

PROJECT NO.: 1177.0002

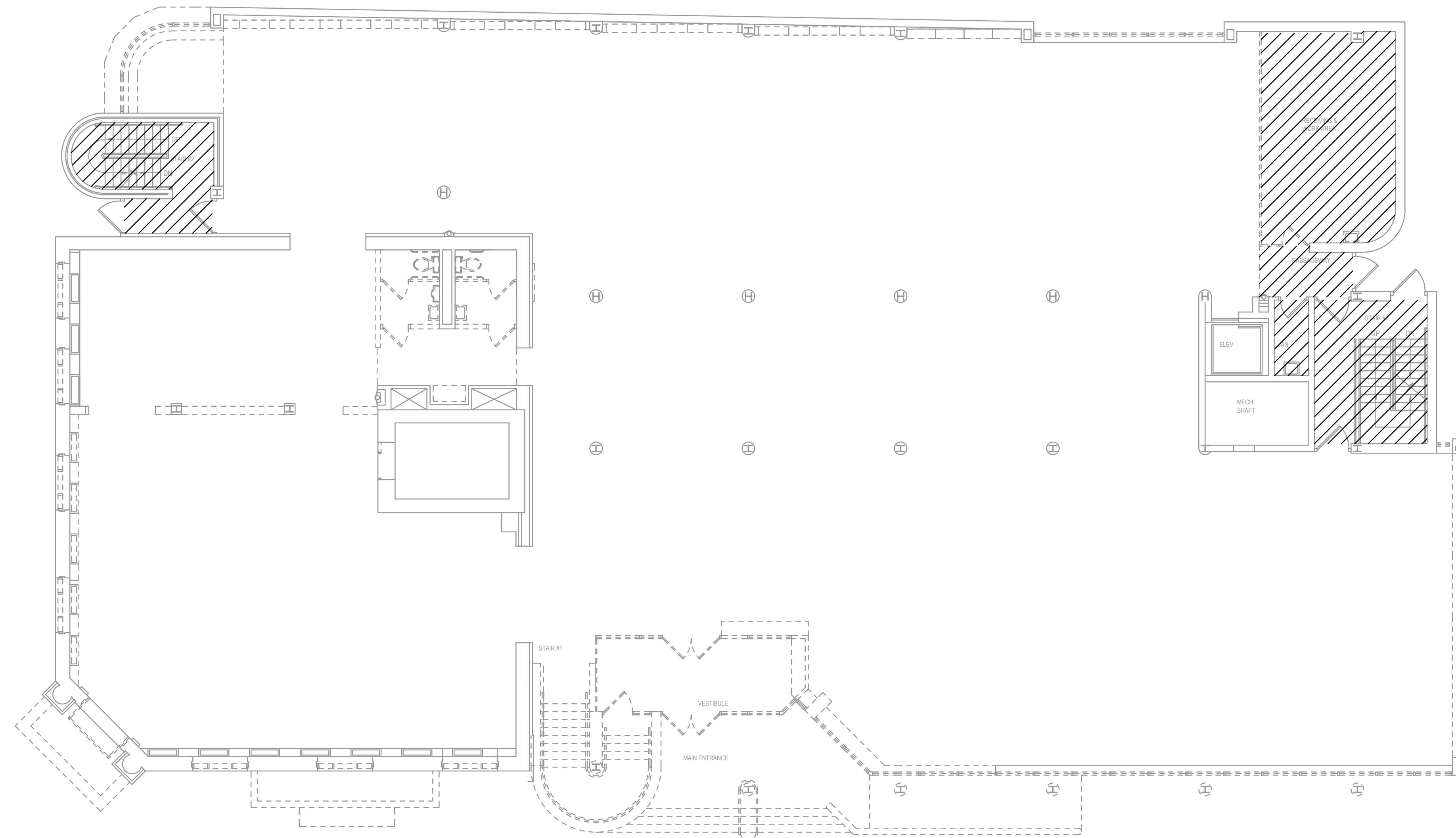
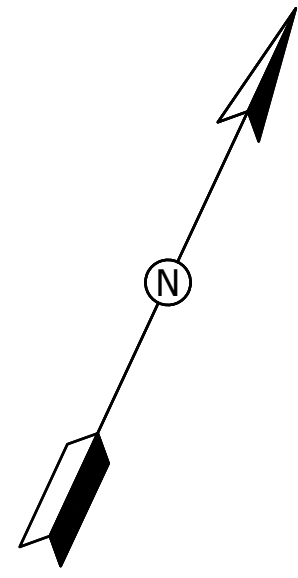
ELEMENT ENVIRONMENTAL
SOLUTIONS
61 WILLOW STREET, P.O. BOX 921 ADAMSTOWN, PA.
tel: 717-484-5111 email: info@e2s.us

HAVERFORD TOWNSHIP FREE LIBRARY

1601 DARBY ROAD, HAVERTOWN, PA, 19083

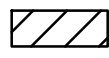

LOWER LEVEL PLAN
LOCATIONS OF ASBESTOS CONTAINING MATERIALS

DRAWN BY: BAF	SCALE: AS NOTED	ACM-01
CHKD BY: DRG	DATE: 03/03/23	



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

-  ASBESTOS CONTAINING FLOORING
1 x 1 FLOOR TILE AND MASTIC
-  MASTIC ENDS ON FGIP

PROJECT NO.: 1177.0002

ELEMENT ENVIRONMENTAL
S O L U T I O N S
61 WILLOW STREET, P.O. BOX 921 ADAMSTOWN, PA.
tel: 717-484-5111 email: info@e2s.us

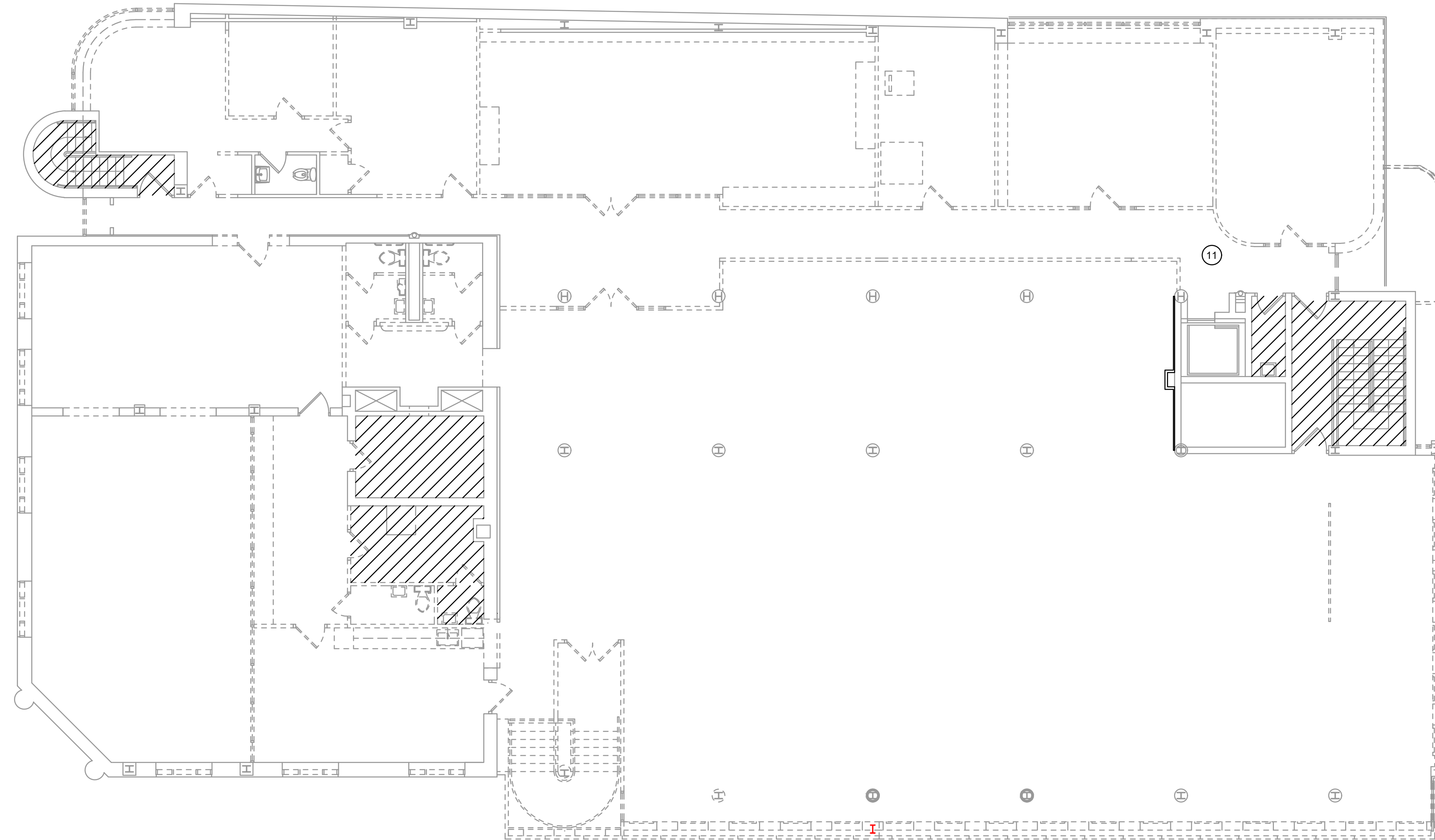
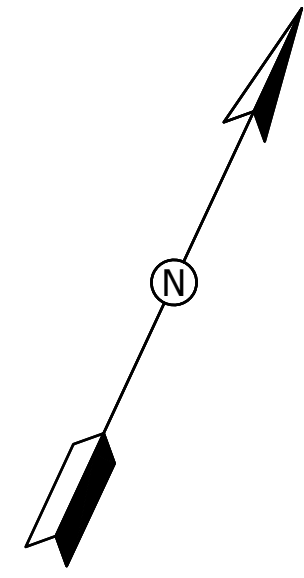
HAVERTOWN TOWNSHIP FREE LIBRARY

1601 DARBY ROAD, HAVERTOWN, PA, 19083

FIRST FLOOR PLAN
LOCATIONS OF ASBESTOS CONTAINING MATERIALS



DRAWN BY: BAF SCALE: AS NOTED
CHKD BY: DRG DATE: 03/03/23

ACM-02



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

-  ASBESTOS CONTAINING FLOORING
1 x 1 FLOOR TILE AND MASTIC
-  MASTIC ENDS ON FGIP

PROJECT NO.: 1177.0002

ELEMENT ENVIRONMENTAL
S O L U T I O N S
61 WILLOW STREET, P.O. BOX 921 ADAMSTOWN, PA.
tel: 717-484-5111 email: info@e2s.us

HAVERTOWN TOWNSHIP FREE LIBRARY

1601 DARBY ROAD, HAVERTOWN, PA, 19083

SECOND FLOOR PLAN
LOCATIONS OF ASBESTOS CONTAINING MATERIALS

DRAWN BY: BAF SCALE: AS NOTED
CHKD BY: DRG DATE: 03/03/23

ACM-03